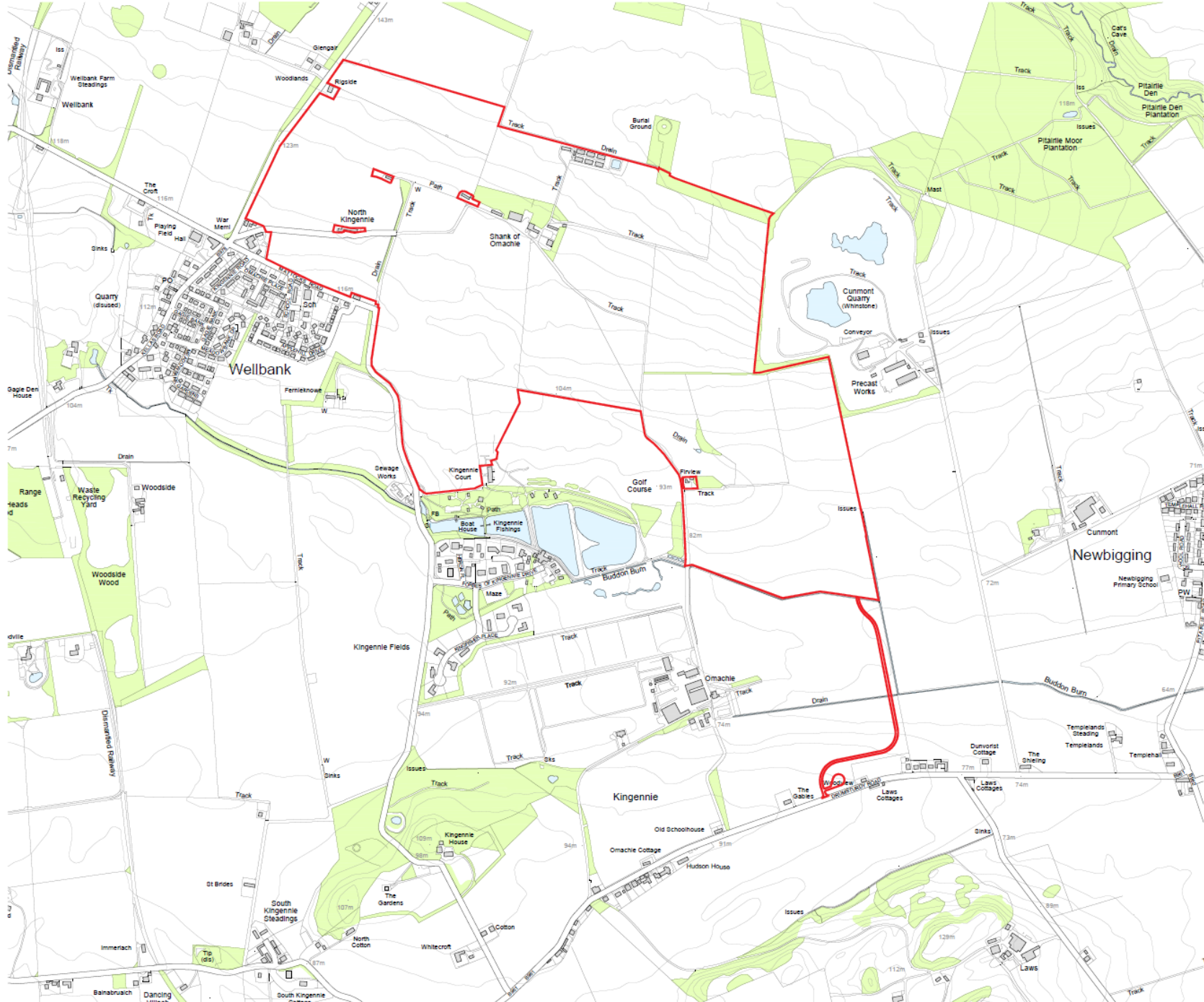


Item 6

Planning application: 21/00872/MSC

Land at Shank of Omachie, Wellbank



Notes

Do not scale from this drawing except for the purposes of the planning application ONLY.

All dimensions to be checked on site prior to construction and any discrepancies reported to the Architect.
Copyright reserved.



— Application Boundary

First Issue	UK	JS	20/02/22
-------------	----	----	----------

Revisions

Status

PLANNING

Client

The Angus Venture Ltd.

Project

The Angus Resort
The Shanks of Omachie Farm
Kingennie

Title

Location Plan

Scale	Size	Date	Drawn	Checked
1:10,000	A3	07/07/2021	JS	DL

3DReid
www.3DReid.com
Architecture Interiors Masterplanning



Project No. Drawing No. Rev.

210090 (D)001







- Planning Boundary
- Existing Contour
- Proposed Roads
- Proposed 2.0m wide Pedestrian Paths
- Proposed 2m wide Pedestrian Paths
- Proposed 2m wide Flagged Club Path
- Proposed Parking to Hotel, Club House and Golf Academy
- Proposed Parking to Hotel, Club House
- Proposed Surfacing to Hotel, Club House and Golf Academy
- Proposed Stone Walls to Hotel / Clubhouse Terrace
- Rehabbing Pool Water Features
- Model Estate Boundary Fence
- Post and Wire Boundary Fence
- Post and Wire Clear Fence
- Existing Trees Retained
- Formal Avenue Tree Planting to Entrance Road
- Ornamental Tree Planting
- Mixed Woodland Structure Stock
- Proposed Individual & Tree Groups to Golf Course
- Proposed Hedge Planting
- Hedges / Shrub Planting
- Ornamental Clearland
- Formal Lawns to Hotel, Reception and Road Verges
- Internal Grass to Golf & Parkland Areas
- Grass Planting to Golf Course
- Dark Rough Clearland
- Fairway
- Greens
- Tees
- Bunkers
- Proposed OBES
- Indicative Fused/Partial Properties
- Proposed Resizable Plot Boundaries & Indicative House Zone
- Proposed Ball Stop Fences to Golf Academy

1:1000/1:2000 - Linear scale of contour method

Notes:
 1. This plan is a conceptual landscape masterplan and is not a site plan. It is intended to provide a high-level overview of the proposed landscape design and to inform the planning process. It is not intended to be used for construction purposes.
 2. The plan is based on the information provided in the planning application and is subject to change without notice.
 3. The plan is based on the information provided in the planning application and is subject to change without notice.
 4. The plan is based on the information provided in the planning application and is subject to change without notice.
 5. The plan is based on the information provided in the planning application and is subject to change without notice.

Drawn	Date	Scale
DP1	23-10-2023	GP

the paul hogarth company
 LANDSCAPE ARCHITECTURE / URBAN DESIGN / PLANNING
 1st Floor, 100, The Quadrant, London, E1 1BB
 Tel: +44 (0)20 7460 1000 | Fax: +44 (0)20 7460 1001 | Email: info@paulhogarth.com
 www.paulhogarth.com | Paul Hogarth Architects Ltd | Paul Hogarth Planning Ltd
 Company No: 11281873 | Company No: 11281874 | Company No: 11281875
 Paul Hogarth Architects Ltd | Paul Hogarth Planning Ltd
 The Angus Golf Resort
 Landscape Masterplan - Watercourses
 PLANNING

Refer to insert



PROPOSED ELEVATIONS



North Elevation



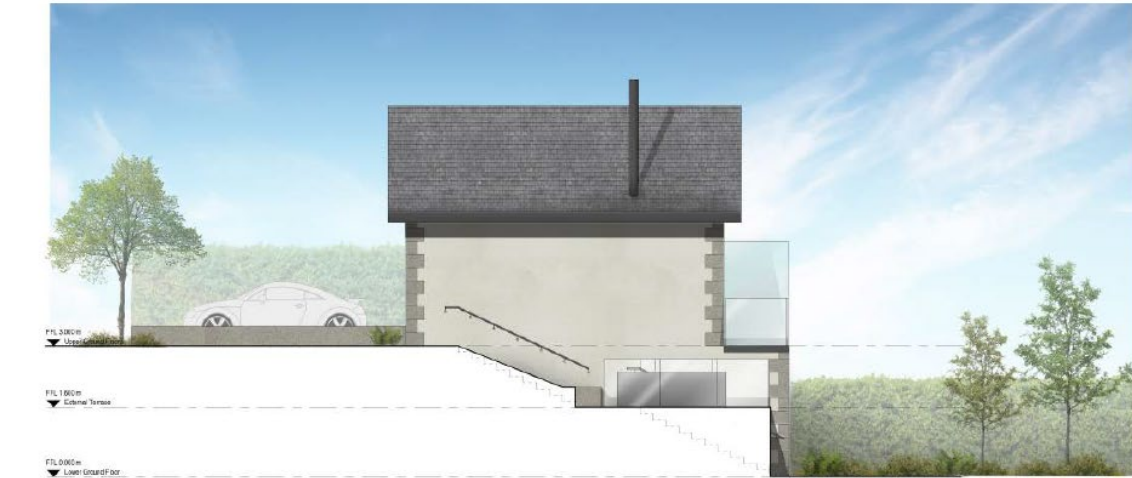
South Elevation







North Elevation



South Elevation



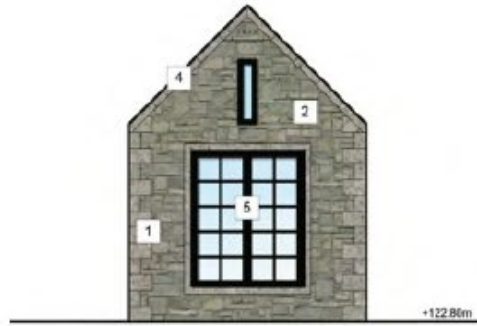
View from Access Road, U307 to Wellbank
Refer to 'Landscape and Visual Assessment' p.26



2. ZONE 1(B) BUILDING LOCATIONS



3.1 GATEHOUSE ELEVATIONS



1. West Elevation



2. East Elevation



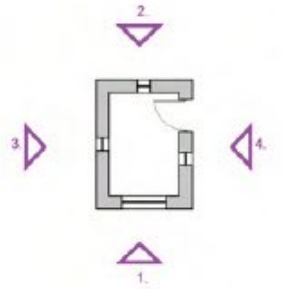
3. South Elevation



4. North Elevation

Material Key:

- 1 Grey Stone Quoins
- 2 Grey Stacked Stone
- 3 Grey Natural Slate Roof
- 4 Grey Stone Copse
- 5 Black Framed Crittal Style Window
- 6 Black Timber Door



Front Contextual Elevation

4.1 GOLF ACADEMY ELEVATIONS



1. East Elevation



4. North Elevation

3. South Elevation



2. West Elevation

5.1 CLUBHOUSE ELEVATIONS



1. South Elevation



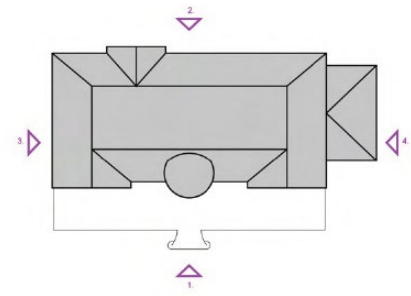
2. North Elevation



3. West Elevation



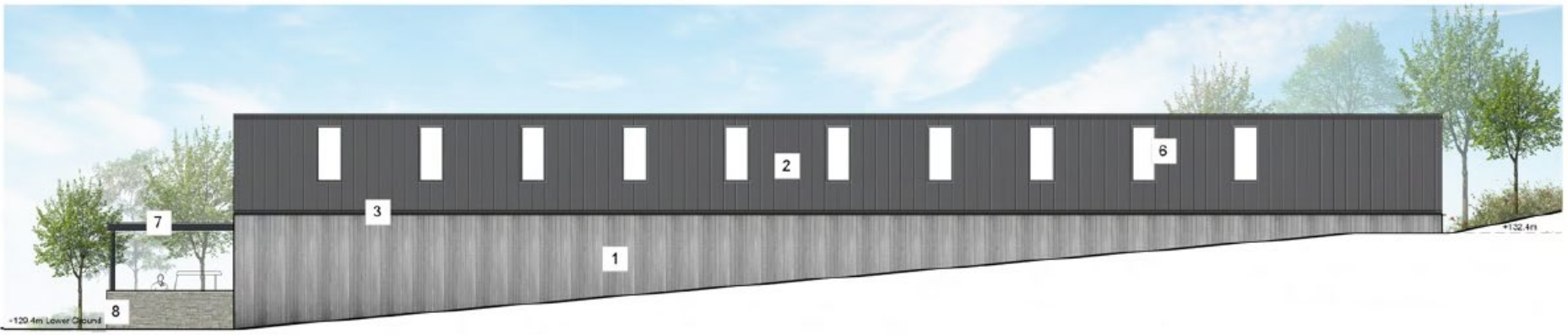
4. East Elevation



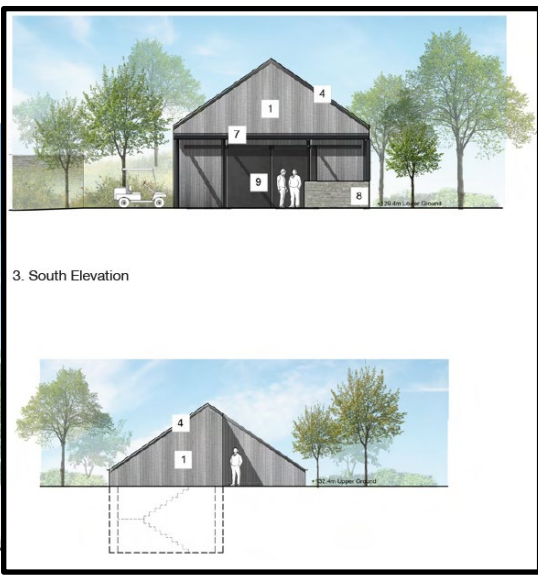
6.1 CART STORE ELEVATIONS



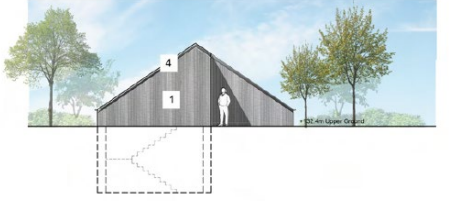
1. West Elevation



2. East Elevation



3. South Elevation



7.1 MAINTENANCE BUILDING ELEVATIONS



1. Elevation 01



2. Elevation 02



3. Elevation 03



5. Elevation 05



Proposed route of Core Path 200
route to follow public footpaths to connect
to existing one path at the base.

Proposed route of Core path 200
Public Open Space
approximately 9 Dha

Area designated for play park.
Consultation of play equipment and
related play facilities April 2019





















the paul hogarth company

LANDSCAPE ARCHITECTURE / URBAN DESIGN / PLANNING

e: ed@paulhogarth.com e: brian@paulhogarth.com e: d@paulhogarth.com
 t: +44 (0)151 331 4611 t: +44 (0)28 9073 6690 t: +553 (0)1 897 0272

visit us at www.paulhogarth.com find us on: [facebook](#) / [twitter](#) / [instagram](#) / [linkedin](#)

notes	revision	description	date	author
Do not scale from drawing, use figured dimensions only. All dimensions are to be checked on site by contractor prior to commencement of all work. Discrepancies should be reported immediately. This drawing is to be read in conjunction with all other TPAC drawings and specifications. This drawing is the copyright of the Landscape Architect and must not be reproduced or used without permission.	P01	Issued for planning	Oct 2021	SR
	P02	Revisions to layout around 3/4 Omachie	Feb 2022	SR
	P03	Removal of residential recycling facility at Drumsturdy Road entrance.	Feb 2022	SR

1:2000/1000m - Land at base of Omachie website

Planning Condition 001
 The landscape architect shall ensure the distribution of trees and ground cover of the site, including the location of main stems and primary leading stems and strategic landscaping. The total number of planting shall not exceed 1000. The final number will be dependent on the availability of replacement material within the specified planting period of this agreement. The landscape architect shall be responsible for the distribution of trees shall be in general accordance with that plan.

Planning Condition 002 (1000 - 1000)
 Details of all hard work including walls, planting and paving associated with the development of the site.

Planning Condition 003
 Details of the location and nature of public open space to be provided are minimum of 1.0 hectares per 1000 habitable population units for the site, and appropriate for the provision and maintenance of the open space in perpetuity.

Planning Condition 04
 Attention is drawn to the restrictions imposed by section 192, which sets out details of how public rights of access to countryside with the Land Surface (Statutory) are to be maintained.

created	Feb 2022	drawn	SR	checked	PH	scale @ A3	1:1000
project number	1438	drawing number	001-E	revision	P03		
client	Angus Ventures Limited						
project	The Angus Golf Resort						
drawing	Masterplan - Extract						
status	Planning						



SCALE 1:500

SCALE 1:500

NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUED FOR PERMITTING	2024	SK	SK
2	REVISED FOR PERMITTING	2024	SK	SK
3	REVISED FOR PERMITTING	2024	SK	SK
4	REVISED FOR PERMITTING	2024	SK	SK
5	REVISED FOR PERMITTING	2024	SK	SK

SYMBOL	DESCRIPTION
[Red shaded area]	PROPOSED VISIBILITY SPLASH
[Green hatched area]	2.4m x 215m VISIBILITY SPLASH
[Grey area]	EXISTING VISIBILITY SPLASH
[Black line]	PROPOSED VISIBILITY SPLASH
[Red line]	EXISTING VISIBILITY SPLASH

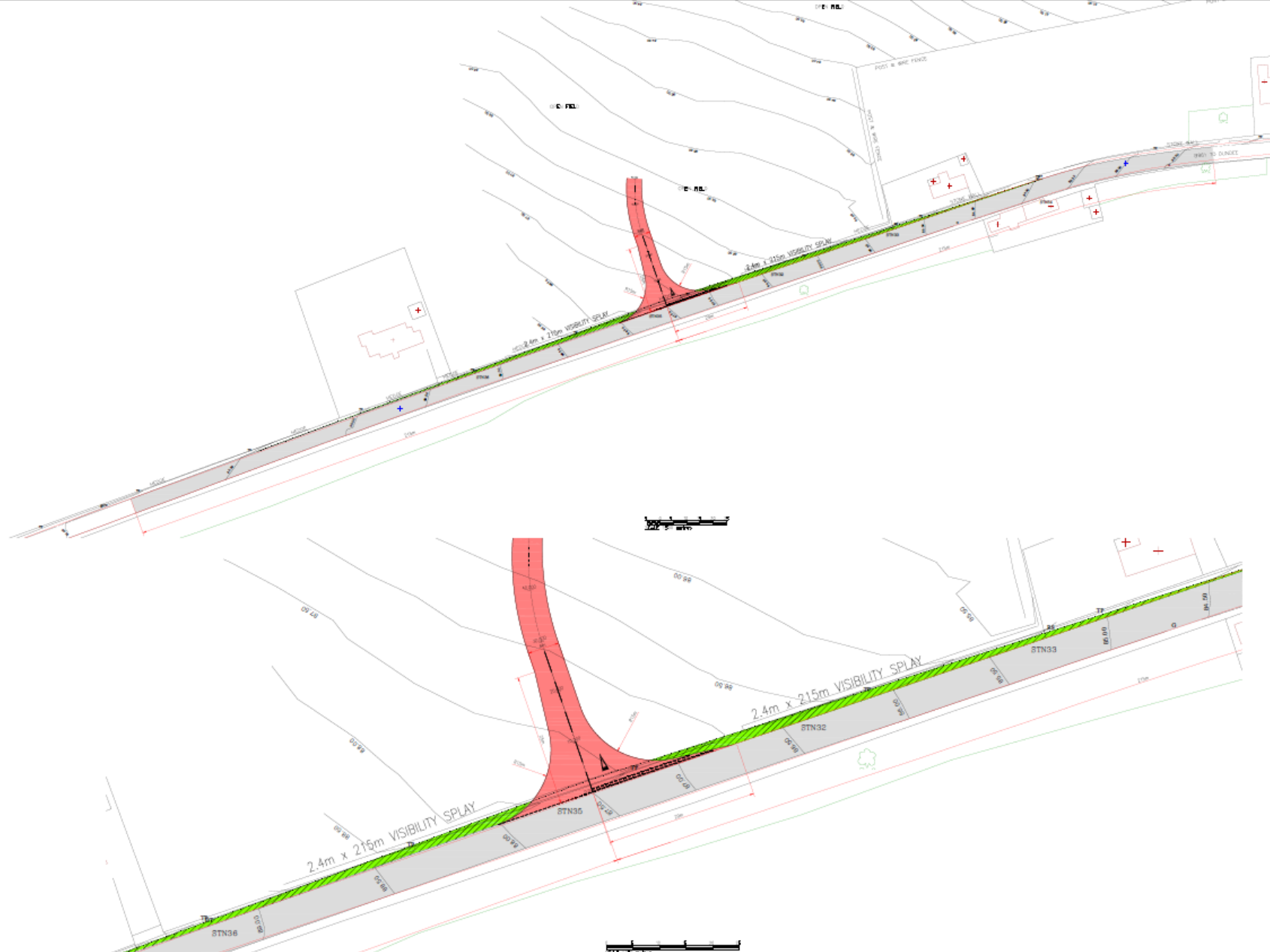
THE DRAWING RELATES TO THE FOLLOWING PLANNING CONSULTATION REFERENCE: 24/01/24

FORBES ENGINEERING
 ADDRESS: ONTARIO 8961,
 DRUMSTURDY ROAD

FAIR JURIS	
NO.	DESCRIPTION
1	ISSUED FOR PERMITTING
2	REVISED FOR PERMITTING
3	REVISED FOR PERMITTING
4	REVISED FOR PERMITTING
5	REVISED FOR PERMITTING

142739/sk1002 C

PROJECT INFORMATION	
PROJECT NO.	142739/sk1002
PROJECT NAME	PROPOSED VISIBILITY SPLASH
CLIENT	FORBES ENGINEERING
DATE	2024
SCALE	1:500
PROJECT LOCATION	ADDRESS: ONTARIO 8961, DRUMSTURDY ROAD







Blank