AGENDA ITEM NO 5

REPORT NO 133/23

ANGUS COUNCIL

DEVELOPMENT MANAGEMENT REVIEW COMMITTEE – 9 MAY 2023

SITE OF FORMER LINKS HOTEL, 8 LINKS PARADE, CARNOUSTIE

REPORT BY THE DIRECTOR OF LEGAL AND DEMOCRATIC SERVICES

ABSTRACT:

The Committee is asked to consider an application for a review in respect of erection of eight residential flats (non-determination), application No 22/00646/FULL, at Site of Former Links Hotel, 8 Links Parade, Carnoustie.

1. **RECOMMENDATIONS**

It is recommended that the Committee:-

- (i) review the case submitted by the Planning Authority (Appendix 1); and
- (ii) review the case submitted by the Applicant (Appendix 2).

2. ALIGNMENT TO THE ANGUS COUNCIL PLAN

This report contributes to the following outcomes contained within the Angus Council Plan:

- Safe, secure, vibrant and sustainable communities
- A reduced carbon footprint
- An enhanced, protected and enjoyed natural and built environment

3. CURRENT POSITION

The Development Management Review Committee is required to determine if they have sufficient information to determine the Review without further procedure. If members do not determine the review without further procedure, the Review Committee must determine the manner in which the review is to be conducted. The procedures available in terms of the regulations are: written submissions, hearing sessions or inspection of the land to which the review relates.

4. FINANCIAL IMPLICATIONS

There are no financial implications arising directly from the recommendations in the Report.

5. EQUALITY IMPACT ASSESSMENT

An Equality Impact Assessment is not required.

6. CONSULTATION

In accordance with Standing Order 48(4), this Report falls within an approved category that has been confirmed as exempt from the consultation process.

NOTE: No background papers, as defined by Section 50D of the Local Government (Scotland) Act 1973, (other than any containing confidential or exempt information) were relied on to any material extent in preparing the above Report.

Report Author: Sarah Forsyth E-Mail: LEGDEM@angus.gov.uk

List of Appendices: Appendix 1 – Submission by Planning Authority Appendix 2 – Submission by Applicant

ANGUS COUNCIL'S SUMISSION FOR NON DETERMINATION

APPLICATION NUMBER – 22/00646/FULL

APPLICANT- QUATTRO GROUP

PROPOSAL & ADDRESS – ERECTION OF EIGHT RESIDENTIAL FLATS (FOR SHORT TERM LETTING) AT SITE OF FORMER LINKS HOTEL 8 LINKS PARADE CARNOUSTIE

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OFFICIAL



Angus Council Angus House Planning Service Orchardbank Business Park Forfar DD8 1AN Network Rail Town Planning 151 St Vincent Street Glasgow G2 5NW

Evie Porat Town Planning Technician

Planning reference: 22/00646/FULL Case Officer: James Wright

E-Mail: TownPlanningScotland@networkrail.co.uk

Network Rail ref: 332 2022 26/10/2022

Dear Mr. Wright,

Town and Country Planning (Scotland) Act 1997 (as amended) Re: Erection of eight residential flats (for short and long term letting) at Site Of Former Links Hotel 8 Links Parade Carnoustie DD7 7JF

Thank you for consulting Network Rail regarding the above development. After examining the proposal Network Rail considers that it will have no impact on railway infrastructure and therefore has no comments/objections to this application.

Yours sincerely

Evie Porat Town Planning Technician Thursday, 27 October 2022

Please quote our reference in all future correspondence

Proposal: Erection of eight residential flats (for short and long term letting)

Site Of Former Links Hotel, 8 Links Parade, Carnoustie, DD7 7JF

Audit of Proposal

Planning Ref: 22/00646/FULL Our Ref: DSCAS-0075311-M53

Scottish Water has no objection to this planning application; however, the applicant should be aware that this does not confirm that the proposed development can currently be serviced. Please read the following carefully as there may be further action required. Scottish Water would advise the following:

Water Capacity Assessment

Scottish Water has carried out a Capacity review and we can confirm the following:

This proposed development will be fed from Clatto Water Treatment Works. Unfortunately, Scottish Water is unable to confirm capacity currently so to allow us to fully appraise the proposals we suggest that the applicant completes a Pre-Development Enquiry (PDE) Form and submits it directly to Scottish Water via <u>our</u> <u>Customer Portal</u> or contact Development Operations.

Waste Water Capacity Assessment

There is currently sufficient capacity for a foul only connection in the Hatton PFI Waste Water Treatment works to service your development. However, please note that further investigations may be required to be carried out once a formal application has been submitted to us.

Development Operations The Bridge Buchanan Gate Business Park Cumbernauld Road Stepps Glasgow G33 6FB

Development Operations Freephone Number - 0800 3890379 E-Mail - <u>DevelopmentOperations@scottishwater.co.uk</u> www.scottishwater.co.uk



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Local Planner

Angus Council

Dear Customer.

Forfar

DD8 1AN

Planning Service



Please Note

The applicant should be aware that we are unable to reserve capacity at our water and/or waste water treatment works for their proposed development. Once a formal connection application is submitted to Scottish Water after full planning permission has been granted, we will review the availability of capacity at that time and advise the applicant accordingly.

Surface Water

For reasons of sustainability and to protect our customers from potential future sewer flooding, Scottish Water will not accept any surface water connections into our combined sewer system.

There may be limited exceptional circumstances where we would allow such a connection for brownfield sites only, however this will require significant justification from the customer taking account of various factors including legal, physical, and technical challenges.

In order to avoid costs and delays where a surface water discharge to our combined sewer system is anticipated, the developer should contact Scottish Water at the earliest opportunity with strong evidence to support the intended drainage plan prior to making a connection request. We will assess this evidence in a robust manner and provide a decision that reflects the best option from environmental and customer perspectives.

General notes:

- Scottish Water asset plans can be obtained from our appointed asset plan providers:
 - Site Investigation Services (UK) Ltd
 - Tel: 0333 123 1223
 - Email: sw@sisplan.co.uk
 - www.sisplan.co.uk
- Scottish Water's current minimum level of service for water pressure is 1.0 bar or 10m head at the customer's boundary internal outlet. Any property which cannot be adequately serviced from the available pressure may require private pumping arrangements to be installed, subject to compliance with Water Byelaws. If the developer wishes to enquire about Scottish Water's procedure for checking the water pressure in the area, then they should write to the Customer Connections department at the above address.
- If the connection to the public sewer and/or water main requires to be laid through land out-with public ownership, the developer must provide evidence of formal approval from the affected landowner(s) by way of a deed of servitude.
- Scottish Water may only vest new water or waste water infrastructure which is to be laid through land out with public ownership where a Deed of Servitude has been obtained in our favour by the developer.

- The developer should also be aware that Scottish Water requires land title to the area of land where a pumping station and/or SUDS proposed to vest in Scottish Water is constructed.
- Please find information on how to submit application to Scottish Water at <u>our</u> <u>Customer Portal</u>.

Next Steps:

All Proposed Developments

All proposed developments require to submit a Pre-Development Enquiry (PDE) Form to be submitted directly to Scottish Water via <u>our Customer Portal</u> prior to any formal Technical Application being submitted. This will allow us to fully appraise the proposals.

Where it is confirmed through the PDE process that mitigation works are necessary to support a development, the cost of these works is to be met by the developer, which Scottish Water can contribute towards through Reasonable Cost Contribution regulations.

Non Domestic/Commercial Property:

Since the introduction of the Water Services (Scotland) Act 2005 in April 2008 the water industry in Scotland has opened to market competition for non-domestic customers. All Non-domestic Household customers now require a Licensed Provider to act on their behalf for new water and waste water connections. Further details can be obtained at www.scotlandontap.gov.uk

Trade Effluent Discharge from Non-Domestic Property:

- Certain discharges from non-domestic premises may constitute a trade effluent in terms of the Sewerage (Scotland) Act 1968. Trade effluent arises from activities including; manufacturing, production and engineering; vehicle, plant and equipment washing, waste and leachate management. It covers both large and small premises, including activities such as car washing and launderettes. Activities not covered include hotels, caravan sites or restaurants.
- If you are in any doubt as to whether the discharge from your premises is likely to be trade effluent, please contact us on 0800 778 0778 or email TEQ@scottishwater.co.uk using the subject "Is this Trade Effluent?".
 Discharges that are deemed to be trade effluent need to apply separately for permission to discharge to the sewerage system. The forms and application guidance notes can be found <u>here</u>.
- Trade effluent must never be discharged into surface water drainage systems as these are solely for draining rainfall run off.
- For food services establishments, Scottish Water recommends a suitably sized grease trap is fitted within the food preparation areas, so the

development complies with Standard 3.7 a) of the Building Standards Technical Handbook and for best management and housekeeping practices to be followed which prevent food waste, fat oil and grease from being disposed into sinks and drains.

The Waste (Scotland) Regulations which require all non-rural food businesses, producing more than 50kg of food waste per week, to segregate that waste for separate collection. The regulations also ban the use of food waste disposal units that dispose of food waste to the public sewer. Further information can be found at <u>www.resourceefficientscotland.com</u>

I trust the above is acceptable however if you require any further information regarding this matter please contact me on **0800 389 0379** or via the e-mail address below or at <u>planningconsultations@scottishwater.co.uk</u>.

Yours sincerely,

Angela Allison

Development Services Analyst PlanningConsultations@scottishwater.co.uk

Scottish Water Disclaimer:

"It is important to note that the information on any such plan provided on Scottish Water's infrastructure, is for indicative purposes only and its accuracy cannot be relied upon. When the exact location and the nature of the infrastructure on the plan is a material requirement then you should undertake an appropriate site investigation to confirm its actual position in the ground and to determine if it is suitable for its intended purpose. By using the plan you agree that Scottish Water will not be liable for any loss, damage or costs caused by relying upon it or from carrying out any such site investigation."

ANGUS COUNCIL

PLANNING

CONSULTATION SHEET

PLANNING APPLICATION NO

22/00646/FULL

Tick boxes as appropriate

ROADS

No Objection

(Comments to follow within 14 days)

Date

Interest

28	10	22

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ELECTRONIC SUBMISSION DRAWINGS TO BE VIEWED VIA IDOX



Memorandum

Infrastructure Roads & Transportation

SUBJECT:	PLANNING APPLICATION REF. NO. 22/00646/FULL – PROPOSED ERECTION OF EIGHT RESIDENTIAL FLATS ON VACANT GROUND AT 8 LINKS PARADE, CARNOUSTIE
DATE:	31 OCTOBER 2022
OUR REF:	CH/AG/ TD1.3
YOUR REF:	
FROM:	TRAFFIC MANAGER, ROADS
το:	DEVELOPMENT STANDARDS MANAGER, PLANNING

I refer to the above planning application which is on the site of previous applications 07/00013/FULL, 11/00962/FULL, 15/00297/FULL and 20/00642/FULL.

The National Roads Development Guide, adopted by the Council as its road standards, is relative to the consideration of the application and the following comments take due cognisance of that document.

The site is located on the north side of Links Parade, Carnoustie on land which has been vacant for a considerable period of time.

To maintain the free flow of traffic on the existing public road, car parking should be provided within the site at the rate of 16 spaces. This equates to a requirement for two parking spaces per flat. Since only 12 car parking spaces are proposed, the development fails to meet the council's standard requirement.

However, an allowance is made in the parking standards for a reduction in the requirement due to a development's location within an urban environment. This is on the basis that good links to sustainable transport facilities are available. In this case, with bus stops available on High Street, approximately 350 metres from the site and a train halt available at Golf Street, less than 200 metres from the site, these criteria are clearly met. In addition, Links Parade is on National Route 1 for cyclists and Dundee and Arbroath are within a comfortable cycling distance.

The submitted application form indicates that no new access will be formed for the development, however, submitted drawing no. CLP.AR(PL)010 Revision A shows an access

at the rear and an access on Links parade. Despite this, a site inspection shows that an access is in place to the rear but to the west of the proposed access location. Therefore, a new access is to be constructed for both the front and rear accesses. An application for each proposed access will need to be submitted to the roads authority for permission to alter the footway.

I have considered the application in terms of the traffic likely to be generated by it, and its impact on the public road network. As a result, I do not object to the application but would recommend that any consent granted shall be subject to the following conditions:

1 That, if finished ground levels fall towards the public road, the accesses shall be designed to prevent the discharge of surface water onto the public roads. This shall include the provision of a cut-off drain on the accesses at the interface with the public footways.

Reason: to prevent the flow of surface water onto the public road.

2 That, an advisory, informative note be added to the decision notice to inform the applicant that the footway crossing at the proposed accesses must be formed and constructed in accordance with the standards of Angus Council. An application form can be downloaded from the Angus Council website for the purpose. *Reason: to maintain the integrity and condition of the public road.*

I trust the above comments are of assistance but should you have any queries, please contact Adrian Gwynne on extension 2036.

From:Milne, Alasdair
Sent:Thu, 10 Nov 2022 13:37:44 +0000
To:PLNProcessing
Cc:James Wright
Subject:RE: Planning Application Consultation 22/00646/FULL SEPA ref 7237

OFFICIAL

James,

Erection of eight residential flats (for short and long term letting) Site Of Former Links Hotel, 8 Links Parade, Carnoustie, DD7 7JF 22/00646/FULL

I refer to the planning application detailed above and your consultation with SEPA of 24 October 2022.

We **object in principle** to the application and recommend that planning permission should be refused. This is because the proposed development is expected to put people or property at risk of flooding which is contrary to Scottish Planning Policy. Paragraph 256 of SPP states "...the planning system should prevent development which would have a significant probability of being affected by flooding or would increase the probability of flooding elsewhere. Piecemeal reduction of the functional floodplain should be avoided given the cumulative effects of reducing storage capacity".

We have a shared duty with Scottish Ministers and other responsible authorities under the Flood Risk Management (Scotland) Act 2009 to reduce overall flood risk and promote sustainable flood risk management. The cornerstone of sustainable flood risk management is the avoidance of flood risk in the first instance.

Detailed comments in respect of flood risk

The site is a vacant site which is at flood risk from fluvial and coastal sources. This is confirmed by the Terrenus Flood Risk Assessment (FRA) submitted in support of the application. It is also partly at risk from surface water according to our flood maps.

The redevelopment of a building or site provides a valuable opportunity to reduce the vulnerability of the site to flooding and therefore reduce overall flood risk. As per our <u>Flood Risk</u> <u>Background Paper</u> (section DM.27 is detailed below) a vacant site at flood risk is only suitable for 'Water Compatible' or 'Essential Infrastructure' type developments (these terms are as per <u>SEPA's Flood Risk and Land Use Vulnerability Guidance</u>). It is residential development that is being proposed here.

Even considering the previous lawful use (a hotel), and despite this being in the same vulnerability class as residential housing, risk can increase within the same category, as explained in our guidance.

Section DM.27 of SEPA's Flood Risk Background Paper is quoted here for the information of the planning authority and the applicant in explaining our position.

The redevelopment of a building or site provides a valuable opportunity to reduce the vulnerability of the site to flooding and therefore reduce overall flood risk. When responding to planning applications on previously developed sites we will therefore encourage planning authorities and developers to consider changes to less vulnerable land uses and improvements to the management of flood risk on site. Our requirements regarding the redevelopment of existing buildings and sites are explained in the table and accompanying paragraphs below. In all cases proposed redevelopments must not increase flood risk elsewhere (see DM Requirement 2).

DM Requirement 1	b) Redevelopment of existing buildings	c) Redevelopment of sites			
Type of development	Alterations/extensions to existing buildings and changes of use	Site with existing buildings where demolition is being proposed or additional buildings are to be erected	Vacant site (i.e. with no existing buildings) where new buildings are being proposed		
What may be acceptable	Changes of use to equal or less vulnerable use to the existing use.	Land uses that are equal or less vulnerable to the existing land use.	Land uses classed as water compatible or essential infrastructure.		

Development on previously developed sites

I trust these comments are of assistance – please do not hesitate to contact me if you require any further information.

Regards Alasdair

Alasdair Milne Senior Planning Officer Scottish Environment Protection Agency Strathallan House Castle Business Park Stirling FK9 4TZ

Telephone 01786 452537 Mobile

Disclaimer: This advice is given without prejudice to any decision made on elements of the proposal regulated by us, as such a decision may take into account factors not considered at this time. We prefer all the technical information required for any SEPA consents to be submitted at the same time as the planning or similar application. However, we consider it to be at the applicant's commercial risk if any significant changes required during the regulatory stage necessitate a further planning application or similar application and/or neighbour notification or advertising. We have relied on the accuracy and completeness of the information supplied to us in providing the above advice and can take no responsibility for incorrect data or interpretation, or omissions, in such information. If we have not

referred to a particular issue in our response, it should not be assumed that there is no impact associated with that issue. For planning applications, if you did not specifically request advice on flood risk, then advice will not have been provided on this issue. Further information on our consultation arrangements generally can be found on our <u>website planning pages</u>

-----Original Message-----From: <u>PLNProcessing@angus.gov.uk</u> <<u>PLNProcessing@angus.gov.uk</u>> Sent: 24 October 2022 15:12 To: Planning South East <<u>PlanningSouthEast@sepa.org.uk</u>> Subject: Planning Application Consultation 22/00646/FULL

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From:Georgia Kirtsi-Mathieson
Sent:Tue, 15 Nov 2022 11:27:01 +0000
To:James Wright
Cc:Peter Morton
Subject:FW: Planning Application Consultation 22/00646/FULL SEPA ref 7237

Hi James

22/00646/FULL | Erection of eight residential flats (for short and long term letting) | Site Of Former Links Hotel 8 Links Parade Carnoustie DD7 7JF

Further to your email below and previous correspondence (20/00642/FULL); we support SEPA's objection on the above planning application.

The applicant has submitted a Review of the JBA Flood Risk Assessment and Outline Development Options by Terrenus Land & Water Ltd dated 19 May 2021; in the report under both fluvial and tidal scenarios, the site is inundated. In addition, the proposal to erect residential flats in a vacant land, therefore increasing the vulnerability on site, is contradictory to the Scottish Planning Policy.

Based on the above, we are unable to support the proposed development.

Should you have any further queries please contact me.

Regards

Georgia

Georgia Kirtsi-Mathieson | Design Engineer - Flood Risk and Structures | Angus Council | <u>kirtsi-</u> <u>mathiesong@angus.gov.uk</u> | <u>www.angus.gov.uk</u>

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For information on COVID-19 goto <u>www.NHSInform.scot</u>

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From: James Wright <WrightJ@angus.gov.uk>
Sent: 10 November 2022 13:42
To: Andrew Brown <BrownA@angus.gov.uk>; Georgia Kirtsi-Mathieson <Kirtsi-MathiesonG@angus.gov.uk>
Subject: FW: Planning Application Consultation 22/00646/FULL SEPA ref 7237

Andrew / Georgia,

Not sure who has this consultation request. For info – Please see SEPAs response below.

Regards

James Wright | Planning Officer (Development Standards) | Angus Council | 01307 492629 | WrightJ@angus.gov.uk | www.angus.gov.uk

Covid: As restrictions ease, the emphasis will continue to be on personal responsibility, good practice and informed judgement. <u>Get the latest information on Coronavirus in Scotland</u>.

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From: Milne, Alasdair <<u>alasdair.milne@SEPA.org.uk</u>>
Sent: 10 November 2022 13:38
To: PLNProcessing <<u>PLNProcessing@angus.gov.uk</u>>
Cc: James Wright <<u>WrightJ@angus.gov.uk</u>>
Subject: RE: Planning Application Consultation 22/00646/FULL SEPA ref 7237

OFFICIAL

James,

Erection of eight residential flats (for short and long term letting)

Site Of Former Links Hotel, 8 Links Parade, Carnoustie, DD7 7JF

22/00646/FULL

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We **object in principle** to the application and recommend that planning permission should be refused. This is because the proposed development is expected to put people or property at risk of flooding which is contrary to Scottish Planning Policy. Paragraph 256 of SPP states "...the planning system should prevent development which would have a significant probability of being affected by flooding or would increase the probability of flooding elsewhere. Piecemeal reduction of the functional floodplain should be avoided given the cumulative effects of reducing storage capacity".

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Detailed comments in respect of flood risk

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Development on previously developed sites

DM Requirement 1	b) Redevelopment of existing buildings	c) Redevelopment of sites			
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What may be acceptable	Changes of use to equal or less vulnerable use to the existing use.	Land uses that are equal or less vulnerable to the existing land use.	Land uses classed as water compatible or essential infrastructure.		

I trust these comments are of assistance – please do not hesitate to contact me if you require any further information.

Regards

Alasdair

Alasdair Milne

Senior Planning Officer

Scottish Environment Protection Agency

Strathallan House

Castle Business Park

Stirling

FK9 4TZ

Telephone 01786 452537

Mobile

www.sepa.org.uk

Disclaimer: This advice is given without prejudice to any decision made on elements of the proposal regulated by us, as such a decision may take into account factors not considered at this time. We prefer all the technical information required for any SEPA consents to be submitted at the same time as the planning or similar application. However, we consider it to be at the applicant's commercial risk if any significant changes required during the regulatory stage necessitate a further planning application or similar application and/or neighbour notification or advertising. We have relied on the accuracy and completeness of the information, or omissions, in such information. If we have not referred to a particular issue in our response, it should not be assumed that there is no impact associated with that issue. For planning applications, if you did not specifically request advice on flood risk, then advice will not have been provided on this issue. Further information on our consultation arrangements generally can be found on our website planning pages

-----Original Message-----

From: PLNProcessing@angus.gov.uk <PLNProcessing@angus.gov.uk>

Sent: 24 October 2022 15:12

To: Planning South East <<u>PlanningSouthEast@sepa.org.uk</u>>

Subject: Planning Application Consultation 22/00646/FULL

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From:Martin Petrie Sent:Wed, 23 Nov 2022 16:21:16 +0000 To:James Wright Cc:Steven D Thomson Subject:FW: Planning Application Consultation 22/00646/FULL flare 533991 Attachments:ufm55_E-mail_-_Standard_Consultation.pdf

Hi James

I can now advise that I have had a chance to peruse the plans and visit the site for this application and my thoughts on this are below.

This application is a reapplication of 15/00297/FULL and 20/00642/FULL I would again recommend the undernoted condition be attached to any consent if you have any further queries please do not hesitate to contact me.

Kind regards

Martin

Condition

That no development in connection with the planning permission hereby approved shall take place unless: A scheme for the proposed means of ventilation, in addition to trickle vents and equivalent to a minimum of 0.5 air changes per hour, for all habitable rooms with windows facing the railway line shall be provided for the written approval of the Planning Authority. The approved scheme shall be implemented prior to the occupation of the proposed residential units

From: Louise Akroyd <AkroydL@angus.gov.uk>
Sent: 07 November 2022 13:57
To: Martin Petrie <PetrieM@angus.gov.uk>
Subject: FW: Planning Application Consultation 22/00646/FULL flare 533991

Hi Martin,

Just noticed this one been sent to me by mistake.

Louise

Louise Akroyd

Environmental Health Officer | Angus Council | Communities | Environmental & Consumer Protection | Angus House, Orchardbank Business Park, Forfar DD8 1AN | 01307 491827 |

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-----Original Message-----From: Linda Petrie <<u>PetrieL@angus.gov.uk</u>> Sent: 24 October 2022 15:44 To: Louise Akroyd <<u>AkroydL@angus.gov.uk</u>> Subject: FW: Planning Application Consultation 22/00646/FULL flare 533991

-----Original Message-----

From: PLNProcessing@angus.gov.uk <PLNProcessing@angus.gov.uk>

Sent: 24 October 2022 15:12

To: ACCESSENVArbroath <accessenvarbroath@angus.gov.uk>

Subject: Planning Application Consultation 22/00646/FULL

Please see attached document.

Comments for Planning Application 22/00646/FULL

AC7

Application Summary

Application Number: 22/00646/FULL Address: Site Of Former Links Hotel 8 Links Parade Carnoustie DD7 7JF Proposal: Erection of eight residential flats (for short and long term letting) Case Officer: James Wright

Customer Details

Name: Mr Robert Robb Address: 9 Links Parade Carnoustie

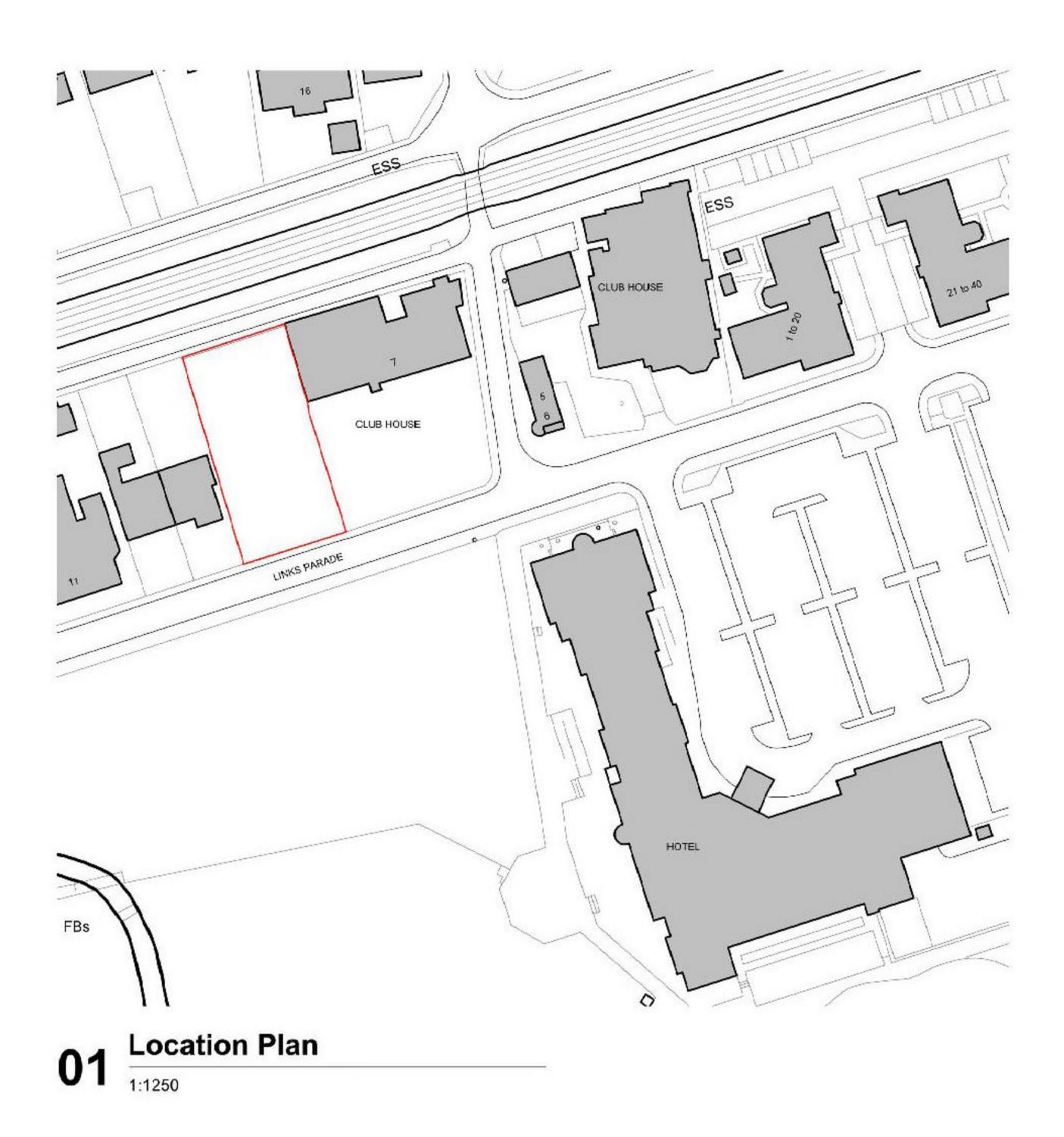
Comment Details

Commenter Type: Member of Public Stance: Customer objects to the Planning Application Comment Reasons: Comment:There seems to be little change to the original planning application, except for some waterproofing of the ground floor.

This proposed building will look out of place, mainly because of the height of the roof, which is considerably, (over 3 metres) higher than any of the immediately adjacent buildings.

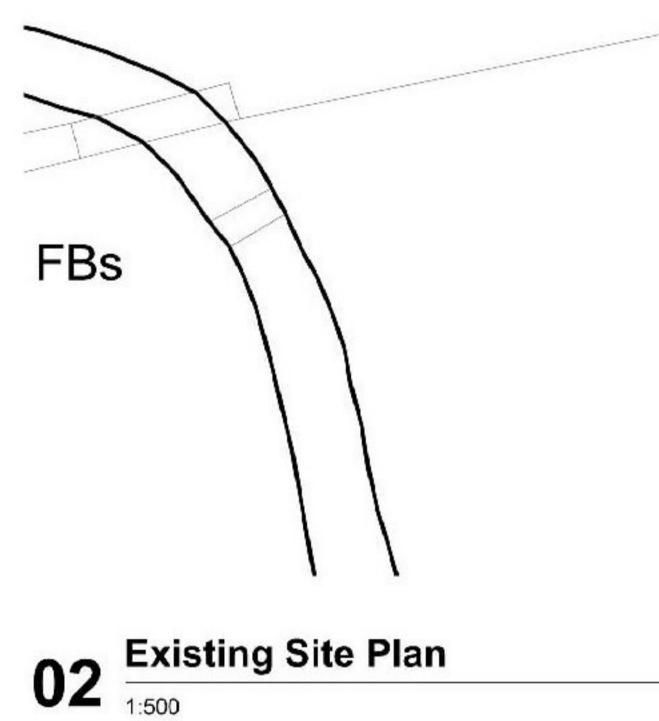
The number of parking lots proposed inside the boundary of the new building would be insufficient for the number of tenants, and there is already some congestion caused by parking in South Taymouth Street.

Lastly, the height of the new building will cause a reduction of available sunlight onto my back garden, and onto my conservatory.



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drawing number revision drawing title **Existing Location / Site Plan** CLP.AR(PL)001 Α 30.05.20 date RG a1 8 Links Parade drawn _____ Planning Consent status Planning format

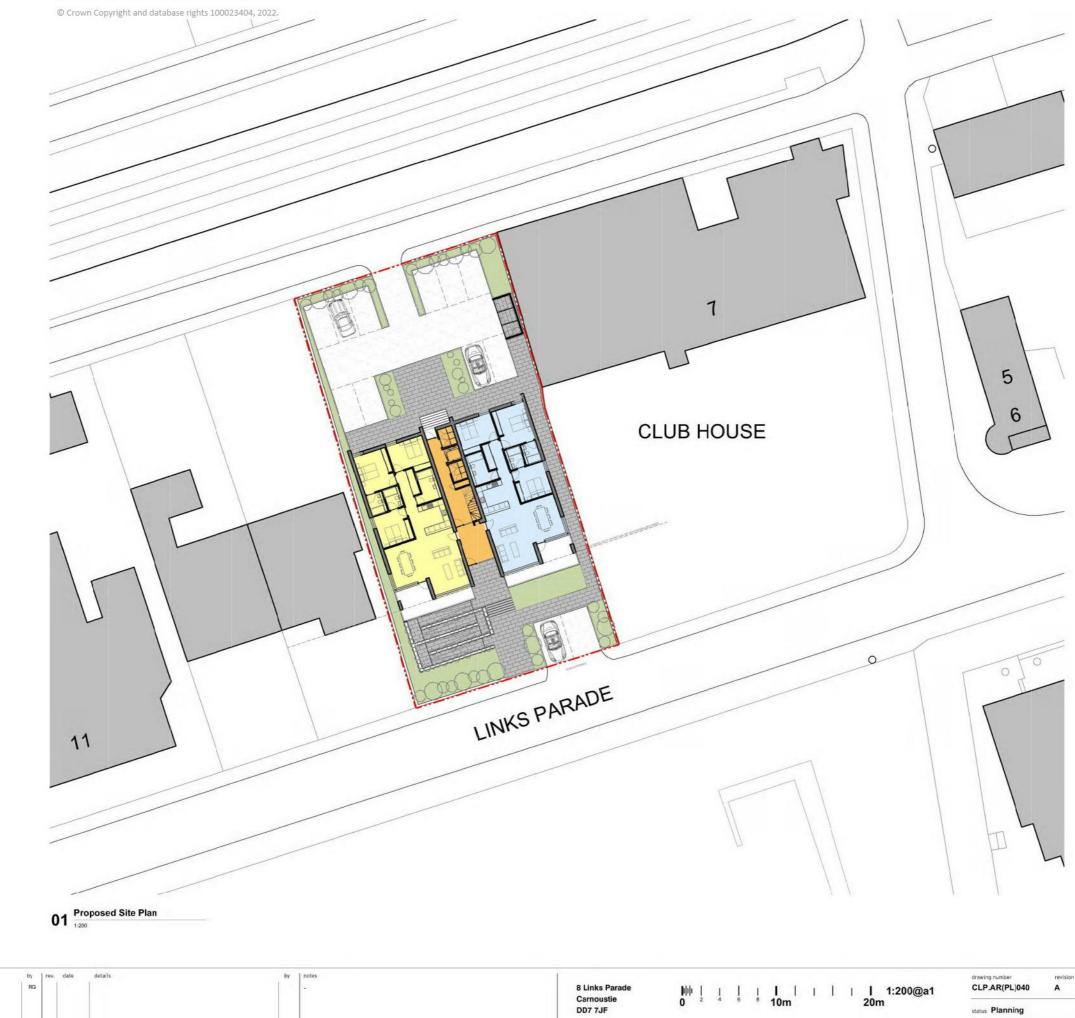
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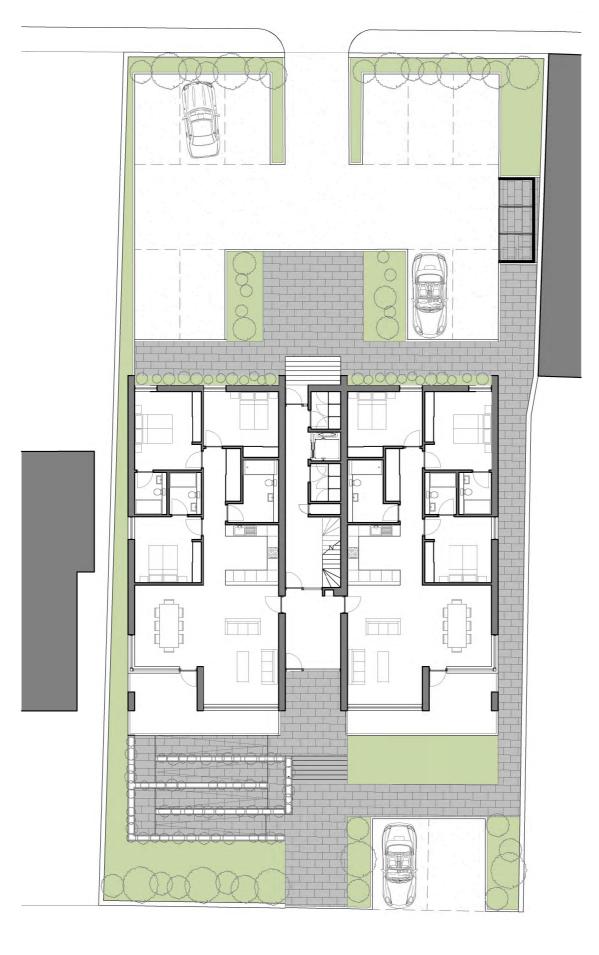
A 04.03.22 Issued for information.



drawing number	revision	drawing title	scale 1:200
CLP.AR(PL)040	A	Proposed Site Plan A	date 04.03.22
		8 Links Parade	drawn RG
status Planning		Planning Consent	format a1

AC9











653 DESIGN LTD 209 Muirshiel Crescent Glasgow 653 GXD

1:100 04.03.22 RG a1 ^{drawing title} Proposed Ground Floor Plan A 8 Links Parade Planning Consent scale date drawn format drawing number revision CLP.AR(PL)041 Α status Planning

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02 Proposed 2nd Floor Plan A

01 Proposed 1st Floor Plan A



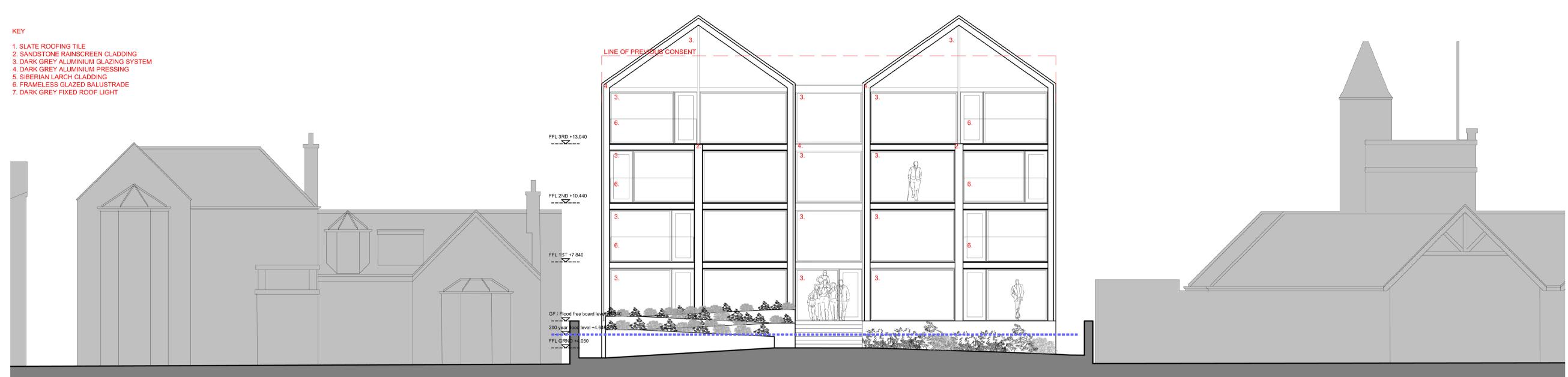
AC9

03 Proposed Roof A

CLP.AR(PL)042	A	Proposed Plans A	date 04.03.22
		8 Links Parade	drawn RC
status Planning		Planning Consent	format a'







01 Proposed South Elevation A





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8 Links Parade Carnoustie DD7 7JF

IIIII | | | I I | | | I 1:100@a1 0 ^{1 2} ^{3 4} 5m 10m



status Planning

GFiveThree The Pentagon Centre G3 8AZ Phone: Email: ruari@gfivethree.c

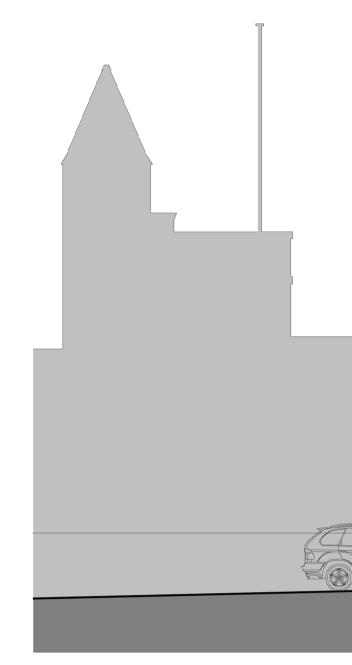
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KEY

SLATE ROOFING TILE
 SANDSTONE RAINSCREEN CLADDING
 DARK GREY ALUMINIUM GLAZING SYSTEM
 DARK GREY ALUMINIUM PRESSING
 SIBERIAN LARCH CLADDING
 FRAMELESS GLAZED BALUSTRADE
 DARK GREY FIXED ROOF LIGHT

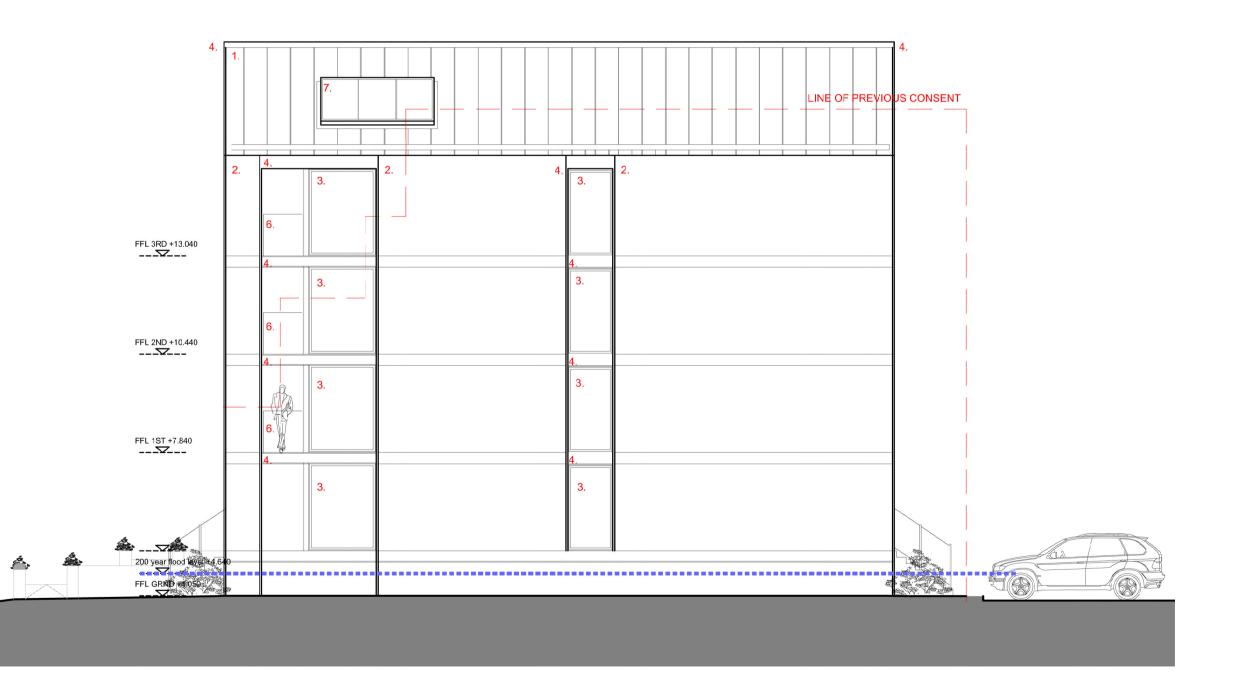
01 Proposed West Elevation A



rev. date details by rev. date details by notes A 04.03.22 Issued for information. RG -



LINE OF PREVIOUS CONSENT



8 Links Parade Carnoustie DD7 7JF



drawing status CLP.AR(PL)044

status Planning

GFiveThree The Pentagon Centre G3 8AZ Phone: Email: ruari@gfivethree.

revison Α

drawing title Proposed Elevations A 8 Links Parade Planning Consent

scale date drawn format

1:100 04.03.22 RG a1

AC10

From:James Wright Sent:14 Feb 2023 10:44:08 +0000 To:Ruari Gardiner Subject:22/00646/FULL

Erection of eight residential flats (for short and long term letting) at Site Of Former Links Hotel, 8 Links Parade, Carnoustie

Mr Gardiner,

I refer to the above application and our telephone conversation yesterday.

As discussed I am finalising my recommendations but note that you have not submitted a 3rd floor plan. I need this submitted before I can finalise these.

There is generally a period of about a week after my recommendations are finalised to allow for a sign off process and paperwork to be prepared and issued. If possible if you could get this over to me today or tomorrow at the latest then a determination date of the 22/02/23 appears to be realistic.

I appreciate you are busy but if you could get this over by close of business tomorrow that would be much appreciated.

Any queries on this please call.

Regards

James Wright | Planning Officer (Development Standards) | Angus Council | 01307 492629 | WrightJ@angus.gov.uk | www.angus.gov.uk **Covid**: As restrictions ease, the emphasis will continue to be on personal responsibility, good practice and informed judgement. <u>Get the latest information on Coronavirus in Scotland</u>.

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AC11

From:James Wright Sent:23 Dec 2022 14:19:19 +0000 To:Ruari Gardiner Cc:John Paton Subject:RE: 22/00646/FULL

Mr Gardiner,

Thank you for clarifying your position regarding the additional information and that you do not want SEPA reconsulted on this. To confirm, if not reconsulted SEPAs objection as a statutory consultee will remain.

I will review our position but thank you for clarifying matters.

Regards

James Wright | Planning Officer (Development Standards) | Angus Council | 01307 492629 | WrightJ@angus.gov.uk | www.angus.gov.uk

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AC11

From: Ruari Gardiner < Sent: 23 December 2022 11:54 To: James Wright <WrightJ@angus.gov.uk> Cc: John Paton <john@pp-d.co.uk> Subject: Re: 22/00646/FULL

James

We have submitted the information formally as part of the application and should be made available on the planning portal.

>

It is our view that SEPA have made their views known and we have provided a technical response to them. It's clear that SEPA will not change their position and a reconsultation will potentially delay matters by another two months. Which given the significant delays we experienced on the previous application is not palatable to my client.

Thanks

Ruari

Ruari Gardiner

Director

gfivethree

On Fri, 23 Dec 2022 at 11:23, James Wright <<u>WrightJ@angus.gov.uk</u>> wrote:

Mr Gardiner,

I note your comments below and the declined extension of time by the applicant.

With regards to the additional information can you please confirm if you want the information to be considered. It is a response to SEPA comments that has been submitted and without asking for comments from SEPA I am not able to confirm their position. Please confirm if you want the information to be considered and SEPA consulted?

I would confirm that due to the holiday period there will be a delay in progressing the application in any event, however we will try to determine the application as quickly as possible.

Please confirm the applicants position with regards to the information submitted / consultations.

Regards

James Wright | Planning Officer (Development Standards) | Angus Council | 01307 492629 | WrightJ@angus.gov.uk | www.angus.gov.uk

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From: Ruari Gardiner Sent: 19 December 2022 16:38 To: James Wright <<u>WrightJ@angus.gov.uk</u>> Subject: Re: 22/00646/FULL

Hi James

Our client feels he stomach a further delay and is not open to an extension of time.

>

Thanks

Ruari

Ruari Gardiner

Director

gfivethree

On Mon, 19 Dec 2022 at 15:51, James Wright <<u>WrightJ@angus.gov.uk</u>> wrote:

Erection of eight residential flats (for short and long term letting) at Site Of Former Links Hotel, 8 Links Parade, Carnoustie, DD7 7JF

Mr Gardiner,

I note the additional information submitted. As discussed however, we are almost at the statutory expiry date for the application.

If you want this information to be considered by both the Roads Service (flooding and Drainage) and SEPA we would need to agree an extension to the determination date of this application. Given the holiday period, I would consider that it is unlikely that we will receive a response from the consultees until mid January 2023. We would need to review any response and need time to progress the application following this. On this basis I would suggest that we need to agree a revised determination date of the 17/02/22.

If you want to proceed on this basis please confirm the revised determination date is acceptable and I will ask for further comments from both SEPA and the Roads Service on the amended information submitted.

Any queries please call.

Regards

James Wright | Planning Officer (Development Standards) | Angus Council | 01307 492629 | WrightJ@angus.gov.uk | www.angus.gov.uk

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International House, Hamilton International Park, Stanley Boulevard, Hamilton, G72 0BN

www.terrenus.co.uk

John Murphy c/o gfivethree 209 Muirshiel Crescent Glasgow Lanarkshire G53 6XD

For the attention of John Murphy

By e-mail only

Date: 19 May 2021

Dear John,

PROPOSED DEVELOPMENT, LINKS PARADE, CARNOUSTIE – REVIEW OF JBA FLOOD RISK ASSESSMENT AND OUTLINE DEVELOPMENT OPTIONS

Background

Development of a parcel of land along Links Parade, Carnoustie, Angus is currently under consideration by the Client. To determine the feasibility and limitations of developing the site for residential purposes, Terrenus Land & Water Ltd were appointed by the Client, Mr John Murray via Messrs gfivethree, to review the existing JBA Consulting 2019 flood risk and hydrology assessment for the Carnoustie area.

Sources of Information

The information used in this report is based on the following sources:

- JBA Consulting Report Carnoustie Flood Prevention Study Hydrology Report (September 2019); •
- JBA Consulting Report Flood Mapping (February 2019); ٠
- JBA Consulting Report Barry Burn Model Build (September 2019); ٠
- JBA Consulting Max Water Depth Hydraulic Model outputs (7 scenarios); ٠
- Client Supplied Drawing CLP.AR.(PL)020 Rev A Proposed Elevations ٠
- SEPA Consultation Response PCS/173520 (October 2020); ٠
- E-mapsite Aerial Photography Derived 2m Digital Surface Model (DSM) Data; ٠
- E-mapsite Aerial Photography Derived 5m Digital Terrain Model (DTM) Data; ٠
- Scottish Coastal Flood Boundary Dataset; ٠
- SEPA Flood Map; and .
- Publicly available online mapping services. .

Site Description

The site lies between South Taymouth Street and Links Parade along the southern edge of the town of Carnoustie, Angus. Figure 1 shows the general site location and site boundary. The site is rectangular in shape and covers an area of approximately 1017m².



Terrenus Land & Water Ltd

The sites lie within the grounds of the former Links Hotel, a Victorian 2¹/₂ storey building which has now been demolished.

The main east coast railway line lies to the north of South Taymouth Street. The site is centred on National Grid Reference NO 55895 34225, as shown on Figure 1, which is included in the Addendum to this letter report. Figure 1 shows the general site location and site boundary. The site is rectangular in shape and covers an area of approximately 1017m².

The Barry Burn is located 65m south of site and the shorefront of the Firth of Tay is located 300mm southeast. The Barry Burn is heavily canalised as it makes its way through Carnoustie from 2.2km west of site, following a winding course through Carnoustie before discharging into the Firth of Tay 400m south of site.

In addition, the Lochty Burn bisects the eastern half of Carnoustie along a west-east divide as it flows northwest to south through the town. The Lochty Burn is heavily canalised along its course and discharges into the Firth of Tay 650m east of site. Letter Body Text

Review of JBA Reports

Flooding occurs when the amount of water arriving on land exceeds the capacity of the land to discharge that water (by infiltration, overland flow, groundwater rise or a failed drainage system). It can occur on any level or near-level areas of land but the main concern in in-land areas is with land adjacent to watercourses (fluvial flooding) and the possibility of overland flow (surface water flooding).

The JBA reports are based on hydrologic assessments and hydraulic modelling carried out in June 2018 through to Feb 2019. The flood model used was Flood Modeller for the 1D element within the channels and TUFLOW for the 2D overbank elements.

The inflow hydrographs were generated using the Flood Estimation Handbook Rainfall Runoff Method, which led to an initial 1 in 200-year peak flow on the Barry Burn of 17.44m³/s. The modelled 1 in 1000-year event corresponded to a peak flow of 24.82m³/s and the 1 in 200-year plus 35% Peak River Flow Climate Change Allowance uplift generated a peak flow of 23.54m³/s.

The Joint Probability Analysis assessing the likelihood of a peak fluvial event in conjunction with a peak tidal surge was carried out as part of the JBA FRA. This found that when the Barry Burn is subject to a 1 in 200-year event, the Firth will be under a 1 in 2-year event and vice versa. Although the peak events are not analogous, the outputs record the maximum inundation for both types of flooding under the given event. In the case of the 1 in 200-year flood event output, the flood extent is the maximum of both the 1 in 200-year fluvial and 1 in 200-year tidal storms.

From review of the JBA reports, the site is considered to be wholly out-with the risk of flooding from the Lochty Burn, however, the access roads on Link Parade and Link Avenue are inundated by up to 0.25m during the 1 in 1000-year flood event.

The combined action of the Barry Burn and Tidal flooding results in the site being wholly within the Medium to High risk of combined fluvial/tidal flooding. The centre of the site is inundated by up to 0.5m, while the north and south are inundated by 0.5-0.75m. The majority of the northern access along South Taymouth Street is inundated by up to 0.5m, while Links Parade and Links Avenue are inundated by 0.5-0.75m.

A review of the final JBA Flood Mapping outputs indicates dry emergency pedestrian access and egress to the site is not viable for events greater than the combined 1 in 5-year fluvial and coastal flooding events.

Base LiDAR

Local topographic data was purchased from Messrs e-mapsite to determine the impacts on access and egress to the site from the predicted coastal flooding. Aerial Photography Derived 2m DSM and Aerial Photography Derived 5m DTM data were purchased and reviewed. The lowest point along Links Parade is noted on the 2m DSM dataset to be at 3.32mO.D., this occurs at the junction of Links Parade with Links Avenue some 40m to the east of the site. Under 1 in 200-year tidal prediction the peak tidal level will be 3.79mO.D., giving 0.47m of water depth at the junction. Along South Taymouth Street the levels are recorded to be between 3.87mO.D. and 4.58mO.D. on the Aerial Photography Derived 5m DTM dataset. The levels on the 2m DSM dataset are higher. This indicates that the peak 1 in 200-year tidal scenario will not inundate South Taymouth Road or the underpass beneath the railway as there is 0.15m freeboard between the two levels. Taymouth Road on the northern side of the underpass is noted to be at 4.17mO.D.

It is noted that the JBA report utilises 1m LiDAR data provided by Angus Council which is of greater resolution than the 2m DSM or 5m DTM noted above.

Spot height survey

Given uncertainties in the reliability of the base LiDAR dataset and the cell resolution used in the hydraulic modelling, particularly along South Taymouth Road, Terrenus undertook spot height surveying in and around the site to establish true ground levels to compare to the LiDAR. Figure A, included in Addendum to this letter report shows the locations and levels of the spot height survey.

A comparison of the spot height survey to the LiDAR in key areas reveals the following:

Location - Description	2m DSM LiDAR (mOD)	5m DTM LiDAR (mOD)	Spot Height (mOD)
South Taymouth Street NE corner of site	5.36	3.91	3.30
South Taymouth Street NW corner of site	4.13	3.99	3.30
Centre of site	6.42	3.66	3.56
Links Parade SW corner of site	3.60	3.56	3.20
Links Parade SE corner of site	3.57	3.50	3.19
Junction of Links Parade with Links Avenue	3.46	3.46	3.13
Links Avenue – south of underpass	3.87	4.44	3.29
Links Avenue – north of underpass	4.62	3.99	3.51

Table B: Ground truthing of base LiDAR with Spot Height Survey

The results of the spot height analysis indicate that that 2m DSM and 5m DTM Lidar datasets are generally overestimating the ground levels within the site and the surrounding area significantly by between 0.1m and 2.86m. The 1m LiDAR the JBA analysis was unavailable from the Council to ground truth. The best correlations in the LiDAR occur with the spot height survey locations where they occur in clear open space, such as on road corridors away from buildings or on open ground.

JBA Hydraulic Model Outputs

A data request was made to Messrs JBA Consulting for the hydraulic model outputs for maximum water depth. These shape files were interrogated in the QGIS software to determine flood water depths for the seven modelled scenarios provided.

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Table A below provides a brief description of each of the requested peak level results and their corresponding grid name:

Item	Description	Level Grid Name
1	Current day fluvially dominated event for the 1 in	FB_D27_MHWS+F200_h_Max_T.tif
	200-year event	
2	Current day coastally dominated event for the 1 in	DM_D23_T200+F2_h_Max.tif
	200-year event	
3	Current day fluvially dominated event for the 1 in	FB_D27_MHWSCC+F200CC_h_Max.tif
	200-year event plus climate change	
4	Current day coastally dominated event for the 1 in	DM_D25_T200CC+F2CC_h_Max.tif
	200-year event plus climate change	
5	Current day fluvial dominated event for the 1 in	DM_D23_MHWS+F200_h_Max.tif
	200-year event with the existing flood defence	
	embankment modelled to full height i.e. no	
	allowance for freeboard	
6	Current day fluvial dominated event for the 1 in	DM_D23_MHWSCC+F200CC_h_Max.tif
	200-year event plus climate change with the	
	existing flood defence embankment modelled to	
	full height i.e. no allowance for freeboard	
7	Current day coastally dominated event for the 1 in	DM_D25_T200CC+F2CC_h_t11.tif
	200-year event plus climate change shortly before	
	the peak high tide level.	

JBA make note of the following as part of their submission:

"Item 4, the 1 in 200 year tidally dominated event with climate change showed some instabilities at the peak of the event, thought to be as a result of a rapid backflow of the tide through the 1D bridges. Item 7 is the extracted level grid a short time before peak water levels are reached and shows a relatively level flooded water surface at approximately 4.4 mAOD. The peak water level across the site in question varies from approximately 4.5 to 4.6 mAOD for this event. As multiple coastal peaks were not tested JBA recommends taking a precautionary approach by assuming the minimum peak water level at the property is no less than the CFB (Coastal Flood Boundary) with climate change, calculated at the time as being 4.53 mAOD."

They also further note that:

"Item 5 and 6 are not in line with SEPA's guidance for the assessment of an existing flood defence and therefore do not form part of the final flood risk analysis for Carnoustie. However, given the location of the area of interest downstream of the existing embankments this modelling approach may give higher water levels than the other results as more water is conveyed to this location via the watercourse instead of overtopping the embankments upstream. Therefore, it is worthwhile considering these results. As level grids 5 and 6 were not carried forward to optioneering stage there may be slight geometry or hydrology difference when compared to the final design runs."

Access and Egress

A requirement of Scottish Planning Policy is for the provision of Dry pedestrian access and egress and emergency vehicular access to the site for the design storm event (1 in 200-year scenario). From the site the existing pedestrian access and egress to higher ground to the north is via South Taymouth Street.

Two existing railway crossings exist, the underpass, some 55m to the east and the footbridge at the station some 170m to the west.

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Analysis of the JBA results indicate that for the 1 in 200-year fluvial dominated scenario the Barry Burn flood the site from the south and west. The northern portion of the site remains out-with the functional flood plain. Whilst there is dry pedestrian access to the west, to the footbridge over the railway, at the station there is fluvial flooding to the north of the station which would cut off further access and egress. Under the 1 in 200-year fluvial dominated scenario the underpass to the east is flooded and cut off. Comparing the peak surface water elevation with the spot height survey indicates flood depths at the southern entrance to the underpass to be between 0.06m and 0.14m.

Analysis of the JBA results indicate that for the 1 in 200-year tidal dominated scenario the whole site is inundated up to 3.88mOD. South Taymouth Street is fully inundated and both access and egress points are inundated. There is no inundation to the north of the railway line at the station. Some flooding along Taymouth Street to the north and east of the railway underpass is present.

At the railway underpass to the east the difference in peak surface water elevation between the 1 in 200year fluvial dominated scenario (3.43mOD) and the 1 in 200-year tidal dominated scenario (3.88mOD) is 0.45m.

Under both scenarios there is no emergency vehicular access to the site as Links Parade and Links Avenue are inundated by depths in excess of 300mm when compared to the spot height levels. Emergency vehicular access to the west along South Taymouth Street during the 1 in 200-year fluvial dominated scenario would be cut off by flooding from Barry Burn.

Costal Flood Risk -Update

A review of the Coastal Flood Boundary Conditions for the UK: Update 2018 was undertaken and the 7 September 2020 dataset was utilised following download from data.gov.uk. The data was downloaded and used under Open Government License V3.0.

The nearest node to the site lies within the North Sea some 2901m south east of the site. The Coastal Design Sea Level Coastal Flood Boundary (CDSL-CFB) Extreme Sea Level layer was examined and data for the node at Chainage 3318. The data set includes the extreme sea level values for still water sea levels and are based on 2017 topographic data for boundary outlines.

In addition to the extreme sea level values, the dataset also includes the appropriate confidence levels. The confidence levels presented in the report and in the layer take account of the uncertainty associated with the skew surge joint probability statistics only. Uncertainty relating to the accuracy of the CS3X model interpolation, 2km interpolation and tidal prediction is not included.

Confidence levels provide allowances for uncertainty. The 2.5% and 97.5% confidence levels associated with an extreme sea level estimate are the values such that, in the interval between these values, there is a 95% probability of observing the true extreme sea level. This interval is often referred to as the 95% confidence interval and is commonly used to quantify the uncertainty associated with parameter estimates of a statistical model. The 2.5% and 97.5% confidence levels are provided and referred to as 'C1_' and 'C2_' respectively.

Table A below summarises the dataset entry for the node at Chainage 3318:

ls study area outwith estuary areas?	Adopted Chainage point	Allowance Uncertaint (2.5%) Cont Level (mC	y - c1 fidence	Sea Le Coastal Boundary Sea Le	Estuary (mO.D.)		els - lood Allowance for xtreme Uncertainty - c2 els (97.5%) Confidence O.D.) Level (mO.D.)	
Yes	3318	c1_T1	3.23	T1	3.24	c2_T1	3.25	0.85
		c1_T2	3.31	T2	3.32	c2_T2	3.34	
		c1_T5	3.4	T5	3.42	c2_T5	3.45	
		c1_T10	3.46	T10	3.49	c2_T10	3.53	
		c1_T20	3.52	T20	3.56	c2_T20	3.61	
		c1_T25	3.54	T25	3.59	c2_T25	3.64	
		c1_T50	3.6	T50	3.65	c2_T50	3.73	
		c1_T75	3.63	T75	3.69	c2_T75	3.78	T200 plus Climate
		c1_T100	3.65	T100	3.72	c2_T100	3.82	Change Allowance
		c1_T150	3.68	T150	3.76	c2_T150	3.88	(mO.D.):
		c1_T200	3.7	T200	3.79	c2_T200	3.92	4.64
		c1_T250	3.72	T250	3.82	c2_T250	3.96	
		c1_T300	3.73	T300	3.83	c2_T300	3.98	
		c1_T500	3.77	T500	3.89	c2_T500	4.07	
		c1_T1000	3.81	T1000	3.96	c2_T1000	4.19	
		c1_T10000	3.96	T10000	4.21	c2_T10000	4.7	

Table A: Extreme Sea Levels Estuary and Climate Change Allowances.

As can be seen from Table A, the T200 Tide extreme sea level associated with Chainage 3318 has been predicted at 3.79mOD. Application of the SEPA Climate Change Allowances for Flood Risk Assessment in Land Use Planning¹ guidance puts the site within the Tay River Basin Region, with a corresponding sea level rise allowance of 0.85m, up to year 2100.

It should be noted that SEPA recommend that an additional allowance of 0.15m per decade after the year 2100 be applied where the design life of a development is known to extend beyond that date. Assuming a design life up to year 2100 the peak extreme sea level estuary level for the site would be 4.64mOD. The revised coastal flood boundary extreme sea level for the 1 in 200-year tidal event with climate change allowance is 0.11m higher than the JBA estimate at the time of their reporting.

A review of the Client supplied Drawing CLP.AR.(PL)020 Rev A – Proposed Elevations indicates that the proposed Final Floor Level for the ground floor would be insufficient at 4.05mO.D.

It should be noted that the peak tidal influence at the site will only last around 4 hours, before receeding.

¹ <u>https://sepaweb.maps.arcgis.com/apps/webappviewer/index.html?id=a01f82dbc66145f4a4b558d7b840f51a&extent=-</u> 2086266.4068%2C6926044.231%2C1044594.2717%2C9056497.0833%2C102100

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Development Options

Based on the updated analysis and review of the JBA data the 1 in 200-year tidal dominated scenario presents the greatest risk to the site.

Under the 1 in 200-year fluvial dominated scenario there is dry pedestrian access and egress to the site to the west, via the footbridge over the railway. The land to the north of the station around the junction between Charles Street and Golf Street is flooded. Taymouth Street to the east of the station is also inundated. Emergency evacuation via train on the railway may be possible. The southern portion of the site, up to 3.44mOD lies within the functional flood plain.

Under the 1 in 200-year tidal dominated scenario there is no dry pedestrian access and egress to the site. The land to the north of the station is free from tidal flooding. The site and South Taymouth Street up to 3.88mOD lies within the functional flood plain.

For design purposes, the 1 in 200-year tidal coastal boundary extreme still sea level appears to be the greatest and is noted to be at 4.64mO.D., up to year 2100. Final Flood Levels for habitation, should be set above this level. Additional freeboard by Angus Council is also likely to be requested, which may be up to 600mm.

If residential design is pursued, all development below 5.24mO.D. is recommended to include flood resilient design measures.

Flood Resilient Design Measures

The following flood resilient design measures are recommended, but not limited to:

- Ground floor slab should be solid and not suspended to prevent upward ingress of flood waters.
- Self-sealing air bricks and air valves to prevent water ingress into the building or wall cavity (if present).
- Manual or automatic door and window seals linked to a flood warning system and emergency response procedure.
- All electrical fuse boxes, sockets, switches, and outlets to be set at or above 4.65mO.D.
- All utilities to be connected via waterproof connections.
- Foul sewer connections to be fitted with one-way valves to prevent water ingress.
- Ground floor materials should be water resistant and easy clean, such as concrete or linoleum. Carpet, wood flooring and laminate should be avoided.
- PVC Skirting should be used preferentially over wooden or plaster skirting.
- Wall decorations should be easy clean to aid recovery, paint is preferable to wallpaper. If wallpaper is required, horizontal installation is preferable over vertical installation up to 4.65mO.D.

Design should be in-line with UK Government Guidance for flood resilient construction: https://www.gov.uk/government/publications/flood-resilient-construction-of-new-buildings.

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Flood resilient design will allow the development to manage and mitigate flood risk whilst promoting faster recovery following a potential flood event.

Flood Warning System

The development would require a flood warning alert system for both the Barry Burn and Tidal inundation. To maintain and preserve emergency access and egress to the site and the surrounding existing commercial and residential properties flood protections measures for South Taymouth Road, Links Avenue and the railway underpass should be considered and discussed with the Council. An alternative pedestrian crossing over the railway would provide dry emergency access and egress under for the 1 in 200-year fluvial dominated scenario.

For either scenario a flood warning system would be required to alert the property to rising water levels both within the Barry Burn and from increasing tides. The site would be required to register and sign up to SEPAs Flood Line for regular alerts and updates on flood status. An operational emergency evacuation plan would be required and tested regularly as would any flood prevention measures as part of the ground floor flood resilient design. Consultation with the local authority building control and flood team is recommended with respect to flood resilient design measures to either protect the ground floor or mitigate the impact of flooding within this area.

It should be noted that, for the 1 in 200-year tidal dominated scenario, **peak tidal conditions would only impact the site for approximately 4-hours**, before the tide recedes. A 500mm drop in tidal sea level would open emergency access and egress along South Taymouth Street to the west via the railway footbridge.

Under existing conditions, the site is most suitable for commercial development. Residential development may be feasible if dry emergency access and egress can be established in conjunction with a flood warning and flood prevention scheme, coupled with flood resilient design measures.

-0000000-

I trust that it meets with your requirements. Should you wish to discuss the contents of the letter then please do not hesitate to contact the undersigned.

Yours sincerely,



Terrenus Land & Water Ltd

Encls.



GFIVETHREE 8 LINKS PARADE DESIGN STATEMENT



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01.1 / Introduction

This Design and Access statement has been prepared by GFiveThree Architects, who are proposing an ambitious eight flat development. The proposed development follows a number of successful schemes recently completed in the surrounding area and responds to these in both mass and character. It has been designed to add a contextually responsive proposal and contribute to the public realm with increased site permeability and ground level activation. The proposals are intended to update an existing planning approval on the site where it was felt the approved scheme was somewhat dated.

A new four storey residential development for short term holiday let is proposed with parking to the rear, will deliver eight three bedroom flats to this prominent site bordering Links Parade. The design of the building embraces its position within the predominantly Victorian characteristics of Links Parade and the more developed characteristics of the Carnoustie Golf Hotel / Dalhousie residential development. Through careful proportions, sensitive use of materials and considered massing we believe this proposal will contribute to an evolving frontage to the golf course.

A more contemporary solution is proposed in response to the more eclectic architectural styles of Links Parade whilst referencing its remaining Victorian heritage.

This documentation will describe in detail the contextual analysis, urban design strategy, individual building design, landscape and inclusive design of the scheme.

This revised application responds to the reasons for refusal of previous application 20/00642/ FULL by taking account of the Flood Risk Assessment carried out on behalf of the applicant by Terranus Land and Water. This recommends that the ground floor level be set no lower than 5.24m AOD, which is the level now proposed.

Raising the ground floor level has required revisions to the design. The floor-to-ceiling distance in the flats has been reduced, and the roof profile changed which has the effect of reducing the bulk of the building. This is explained and illustrated in section 4 of this design statement. We contend that the design now proposed is more appropriate than the previous versions that were approved on the site.

01.2 / Design Team

GFiveThree

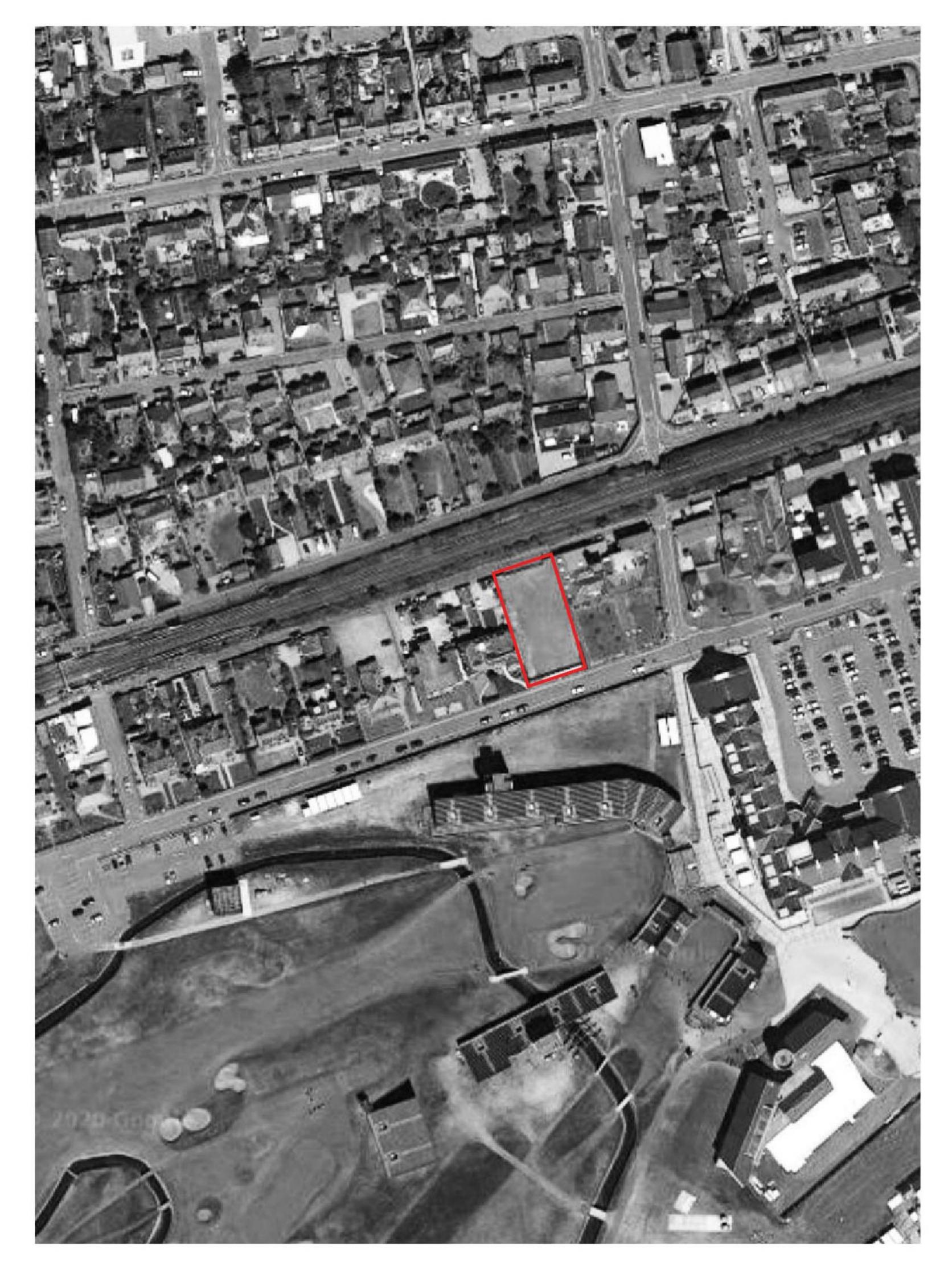
GFIVETHREE are keen proponents of the whole environment approach, and have gathered acclaim for their work on high-profile urban regeneration projects such as the Canal Quarter and Skate Park with the Port Dundas area of Glasgow.

Trident

Founded in September 1998, Trident currently employs more than 100 staff across 11 offices in the UK and Ireland, enabling them to deliver sound, reliable advice on a national scale from a solid base of qualified and experienced surveyors.

Struers

Struer Consulting Engineers are a well-respected and established name in the civil and structural engineering industry offering a wealth of knowledge and experience to our clients. Struer specialise in structural and civil engineering designs tailored to meet the bespoke requirements of each project. Struers are a company focused on solutions, a one stop shop approach to service delivery.





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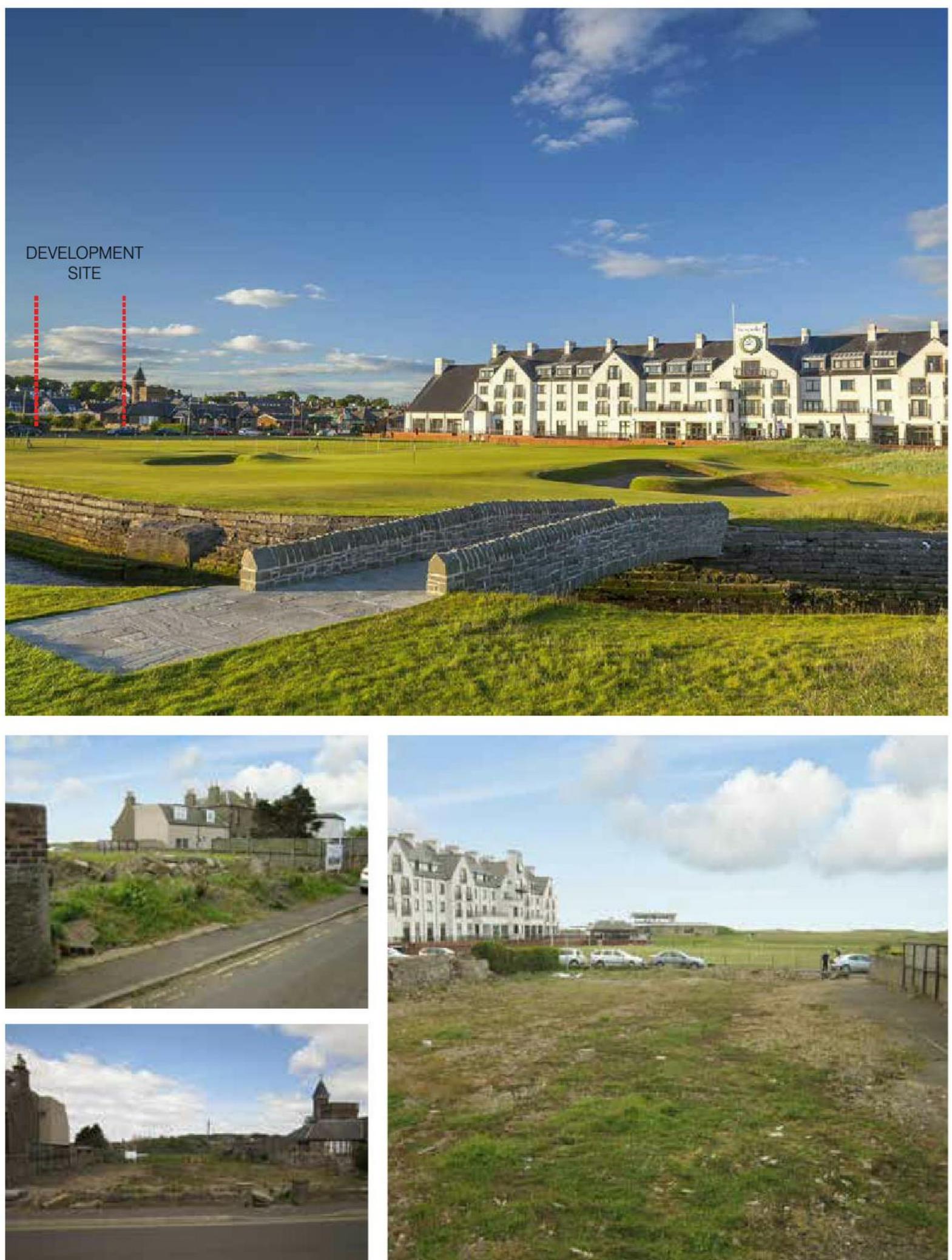
02.1 / Site Description

The site is contained to the north by South Taymouth Street beyond which the main east coast railway line lies. The Caledonia Golf Club lies to the east and the southern roadside frontage faces the Carnoustie Championship Golf Course. A private dwellinghouse and its curtilage lie to the west. The boundaries of the application site are formed by stone walls of varying heights and condition.

The site is bounded by buildings of varying scale, within the immediate vacinity of the site there are 2 1/2 to 3 storey properties. There is also the large 4 11/2 storey Carnoustie Links Hotel and Dalhousie Court Development.

The neighbouring properties are of sandstone ashlar construction whilst the Links Hotel and Dalhousie Court Development are white rendered construction.

The site is located within a thriving community with well established housing, public facilities and travel links, including Golf Street Train Station. The site is level and measures 0.25 acres or approx 0.1ha. in area. Both vehicular and pedestrian access is afforded only from the south, from South Taymouth Street. Whilst pedestrian access is achieved from Links Parade.









02.2 / History

Golf is recorded as having been played at Carnoustie in the early 16th century. In 1890, the 14th Earl of Dalhousie, who owned the land, sold the links to the local authority. It had no funds to acquire the property, and public fundraising was undertaken and donated to the council. The original course was of ten holes crossing the Barry Burn and opened in 1842. The opening of the coastal railway from Dundee to Arbroath in 1838 brought an influx of golfers from as far afield as Edinburgh, anxious to tackle the ancient links. This led to a complete restructuring of the course, extended in 1867 to 18 holes with the first open championship being played in 1931.

Initially development extended along Links Parade with the Golf Club House, Shops and Hotels all fronting the course. These buildings were all of sandstone ashlar construction with slate roofs and expressed gables fronting links parade.

The Championship course was modified significantly prior to the 1999 Open and a large hotel was also built behind the 18th green of the Championship course. This is a large 4 storey hotel building of white rendered construction picking up on the local vernacular of the gable fronting the course.

The site benefits from a significant amount of surrounding Architectural heritage to both influence and inspire any developing architectural proposals. However, due to its unique siting and a history of relatively frequent development, our site's story is possibly richer than most.

Due to its location along Links Parade the site shares a relationship with both the ornate townhouse architecture to the West and the larger scaled modern hotel development / residential units to the south / east.

The site itself was previously occupied by a large hotel which had developed most of the site to the north and then was set back to mirror that of the dwellings to the West. The hotel unfortunately fell into disrepair and was demolished in 2007.



Golf Open







View West of Former Bruce Hotel

02.3 / Planning History

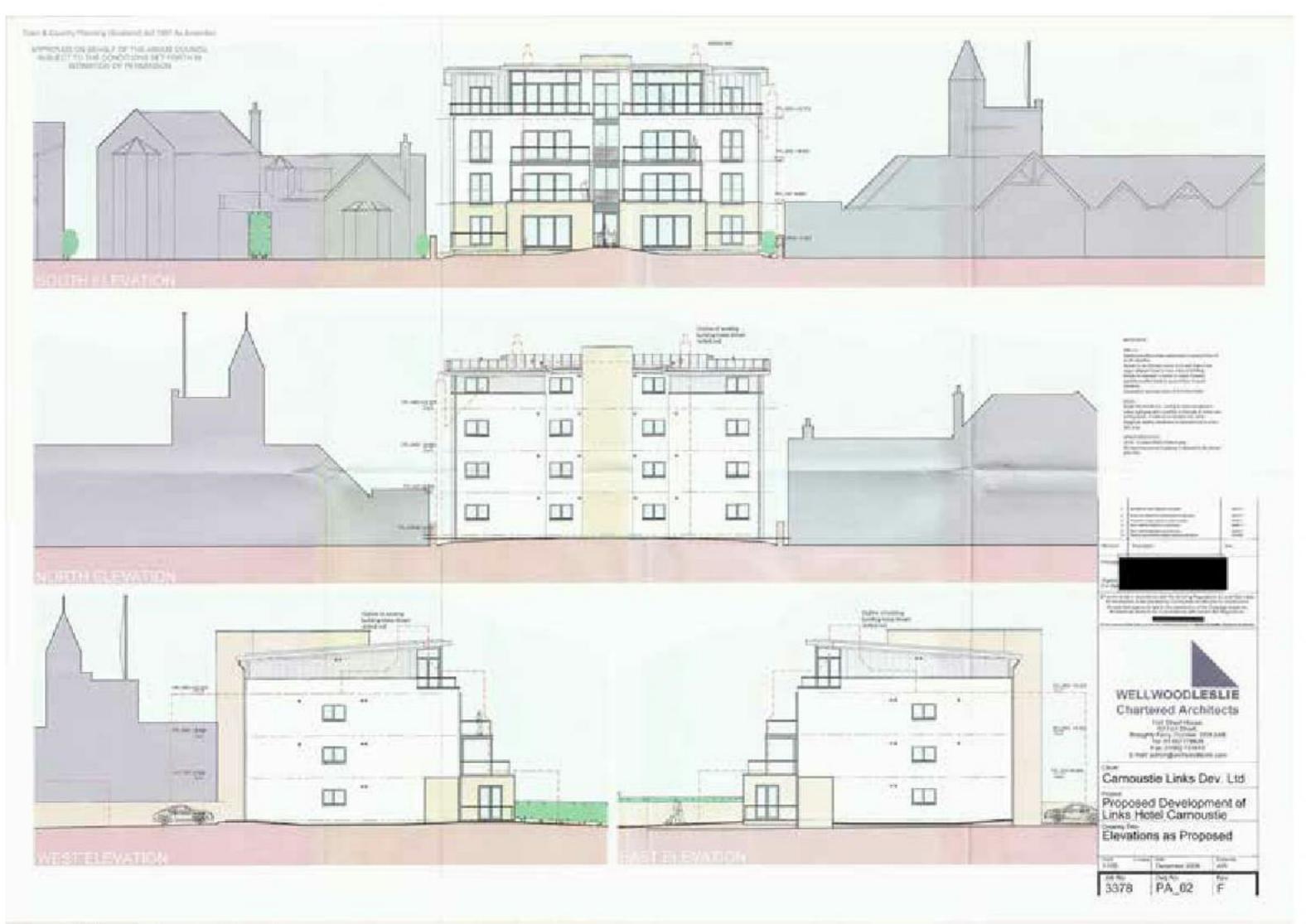
The first application for the site was in 2007 (07/00013/FUL) which proposed the development of 8 flats fronting Links Parade and parking to the rear. Architecturally it adopted a similar roof form / mass to that of the former hotel with dormer windows / balconies. The application was approved on appeal.

Two subsequent applications were made to alter the external appearance of the original proposals whilst retaining the number of units. The alterations saw a more contemporary approach adopted with the traditional roof form removed and replaced with flat roofs. These applications were 11/00962/FULL, approved on 12 th December 2011; and 15/00297/FULL, approved on 5th June 2015.

Following a change of site ownership, the present applicant reviewed these approvals and was of the opinion that the approved design lacked a visual connection to its context. For example, within the locale there are very few examples of the approved flat roof, and the material choice detailed within the application was dated. A new application was therefore submitted on 12th October 2020 (20/00642/FULL) which sought to address these issues.

The applicant commissioned a Flood Risk Assessment to accompany the application which revealed that the proposed ground floor level required to be increased to ensure that the occupants were not a risk of flooding. Revised drawings were prepared which accorded with this, and submitted informally to the planning officer. However the application was refused on 27 th May 2022 on the basis of the original drawings, for the reasons that the development would be subject to an unacceptable level of flood risk.

The present application formally submits proposals that ensure that all occupants of the development would be protected from flood events. This design statement explains that other alterations to the design ensure that the increased ground floor level does not have an adverse impact on the overall massing of the proposed building, and that it will in fact be a more appropriate design in its context than previously approved.



Approved Planning Consent Drawings



Visualisation of Approved Scheme



02.4 / Context

The site is located just off Links Parade and is within a linear development running parallel with the railway line to the North and then fronts the Golf Course to the South. This area of Carnoustie was once a thriving tourist hotspot following the completion of the railway taking keen golfers and sun seekers from Edinburgh.

The site is located close to many architectural landmarks such as the traditional victorian sandstone Dalhousie & Caledonia Golf Clubs. The Carnoustie Golf Hotel and Spa is the prominant architectural feature of the area, is clad with a white render and is 4 storeys high with a slate pitched roof. To the East of the site there is large 4 storey residential development of 3 distinct blocks. The architectural forms / scale / material choices are driven by the Golf Hotel.

To the South of the site is the open area of the historic Golf Course and Links.

02.5 / Identity

The area has formed a strong architectural identity with all the buildings orientating themselves towards the 18th Green and Golf Course. The older buildings all adopt a gable fronting the course which has in turn informed the architecture of the new hotel / flatted development.

The Links Parade has a mixture of building typologies due to the varied mix of housing and commercial facilities. Traditional sandstone dwellings, sandstone clubhouses, hotels and modern rendered flatted accomodation all adjacent to the site.

The development proposes to utilise the gable form to create a modern reinterpretation of the form. orientating living accomdation to the South and bedroom accomodation to the North.

02.6 / Connection

South Taymouth Street connects the site to the West and provides access to the various Train Stations within Carnoustie. Great Western Road connects the site to the city.

The Train Stations provide a frequent train service into the city and the site has good access to bus services along both directions of Great Western Road and Crow Road.

The site has a single pedestrian and vehicle access point from South Taymouth Street which will remain in the proposed development. Links Parade to the south provides a popular route for pedestrains accessing the Golf Hotel and Entertainment beyond.

02.6 / Appraisal

The site is accessed from both Links Parade for pedestrians and for vehicular traffic along South Taymouth Street. The site is orientated on a North-South axis and the prevailing wind direction is from the south-west. The existing landscaped buffer zones to the South of the site will be enhanced in the new development to minimise any sound from the slow moving trains. The proposed development will locate the living accomodation on the South Elevation to maximise the views over the Golf Course and the Beach beyond.





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02.4 / Planning Context

03A / Background

Section 02/3 has already described the previous planning approvals on the site, and the fact that a three-storey building containing six flats (illustrated in section 02/3), was approved on 4th June 2015. It is also relevant that a previous appeal decision (P/PPA/120/209) considered that "a 4 storey building with a scale, massing and contemporary design was appropriate at the application site as it would not lead would lead to a significant loss of amenity and character from the area".

At the time of the 2015 approval, Angus Local Development Plan was in draft form, although the planning officer's Report of Handling took cognisance of its emerging policies in reaching his decision to approve the application.

Use

It is proposed that the building will contain short-term holiday letting accommodation (such as Airb'n'b). We consider that the site is especially suited to this use due to its proximity to the Golf Club and Carnoustie Golf Hotel, which we would describe as the focus for visitors to the town. This type of accommodation will increase the range of accommodation available to visitors, and therefore enhance the appeal of Carnoustie as a visitor destination.

Design

As explained in this design statement, the present application revises the design of the building, and in our opinion presents a design that is more in keeping with its surroundings, and interprets key design features found in nearby buildings in a contemporary manner, than the previously-approved designs. Fundamentally, this new proposal abandons the flat roof of the approved design, a feature which we consider alien in its surroundings. It also raises the ground floor level to ensure that the residents are protected from tidal and fluvial flooding events.

Furthermore, the design addresses the street with a pair of gables: a design feature that is found on many nearby traditional buildings and is reflected in the design of more recent flatted developments to the east and in the Carnoustie Golf Course Hotel opposite the site.

03B / Angus Local Development Plan – Development Strategy

The application site lies within the Development Boundary of Carnoustie, as defined on the "Carnoustie and Barry Proposals Map", though it is not the subject of any specific policy or proposal. The section of the Plan's Policy DS1 "Development Boundaries and Priorities" applies in such a situation:

"Proposals on sites not allocated or otherwise identified for development, but within development boundaries will be supported where they are of an appropriate scale and nature and are in accordance with relevant policies of the ALDP".

The policy then states: "In all locations, proposals that re-use or make better use of vacant, derelict or under-used brownfield land or buildings will be supported where they are in accordance with relevant policies of the ALDP".

As the site is not the subject of any specific policy or proposal, its development is subject to the following element of the "Carnoustie and Barry Development Strategy":

"supporting the redevelopment of vacant, underused and brownfield sites within the defined Development Boundary, including Woodside/Pitskelly, Barry Road, Greenlaw Hill and the former Maltings".

within the Carnoustie Development Boundary, the Plan therefore gives support for the principle of the development. This remainder of this section proves that the development will be of an appropriate scale and nature and is in accordance with other relevant policies of the ALDP, as required by policy DS1.

03C / Angus Local Development Plan - policy DS3: "Design Quality and Placemaking"

This policy is as follows.

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Our response to the criteria listed in the policy is as follows.

"Development proposals should deliver a high design standard and draw upon those aspects of landscape or townscape that contribute positively to the character and sense of place of the area in which they are to be located".

 Section 04.1 / Concept of this statement explains that a principal concept behind the new proposal is to respond to the numerous gable wall conditions seen throughout the surrounding buildings. This allows the proposals to be orientated to the South and to take advantage of the fantastic views out over the Golf Course. The scheme further integrates itself into the built environment by use of a sandstone rainscreen cladding. This strengthens its contextual response to the linear strip of housing in Links Parade, and avoids clashing with the dominant Carnoustie Golf Hotel.

The proposal embodies the design feature found on many surrounding buildings of gables facing the street. This is a key difference to the approved scheme which has a uniform flat roof and minimal street articulation.

• We contend that the new proposal will add a building of character - a contemporary interpretation of the character and materials of surrounding buildings; with a greater sense of identity by having a distinctive yet respectful form.

 The proposal will contribute to natural surveillance of Links Parade by having principle rooms overlooking the street. Similar surveillance will be achieved over the access lane to the rear.

Development proposals should deliver a high design standard and draw upon those aspects of landscape or townscape that contribute positively to the character and sense of place of the area in which they are to be located. Development proposals should create buildings and places which are:

• Distinct in Character and Identity: Where development fits with the character and pattern of development in the surrounding area, provides a coherent structure of streets, spaces and buildings and retains and sensitively integrates important townscape and landscape features.

• Safe and Pleasant: Where all buildings, public spaces and routes are designed to be accessible, safe and attractive, where public and private spaces are clearly defined and appropriate new areas of landscaping and open space are incorporated and linked to existing green space wherever possible.

 Well Connected: Where development connects pedestrians, cyclists and vehicles with the surrounding area and public transport, the access and parking requirements of the Roads Authority are met and the principles set out in 'Designing' Streets' are addressed.

 Adaptable: Where development is designed to support a mix of compatible uses and accommodate changing needs.

• Resource Efficient: Where development makes good use of existing resources and is sited and designed to minimise environmental impacts and maximise the use of local climate and landform.

(The remaining sections of this policy are not relevant to the development propos-

"Distinct in Character and Identity"

"Safe and Pleasant"

"Well Connected" . The development will be situated within easy walking distance of the shops, services and bus stops in the High Street / Dundee Street corridor, and of Carnoustie and Golf Street stations. The proposed 12 parking spaces is the same level of provision as the previous approval and therefore has Council support.

"Adaptable"

"Resource Efficient" • The development is inherently sustainable by achieving a development of reasonable density on an easily-accessible brownfield site within the town, that has been undeveloped for some years.

 The project has been designed to utilise renewable heat sources through the integration of a ground source heat pump and solar panels within the roof

policy DS3.

In his Report of Handling of approved application 15/00297/FULL, the Council's planning officer made the following significant statements.

"The proposal would see a prominently located site adjacent to the Championship Golf Course brought back into productive use therefore I accept that the proposals would make a significant contribution towards regeneration and renewal. There are no uses surrounding the site which would obviously give rise to issues to the detriment of residential amenity".

"I am satisfied that the scale, massing and appearance of the proposed building remains acceptable".

"The ground floor level of the proposed development has been set at 4.050m AOD which was consistent with the information provided in the determination of application 07/00013/FUL where flood risk impacts were mitigated. However following consultation with the Roads Service they have indicated that flood prevention measures have been constructed in the area and there are a number of existing residential buildings located within the 1:200 year flood plain therefore to be consistent with other residential developments that have been approved since the appeal decision the finished floor level of the development should be increased to 4.5m AOD which would be 300mm above the 1 in 200 year extreme still water level. Subject to a condition requiring the finished floor level of the development being set at 4.5m AOD I am satisfied that flood risk should not justify refusal of this application".

Regarding the first quote, we see that the development offers a significant contribution towards regeneration and renewal, confirming that the site is prominent - being located site adjacent to the Championship Golf Course (and also is across the road from the Carnousie Golf Hotel and Spa).

Regarding the second quote, the design proposed in this application reduces the overall bulk of the building by reducing floor-to-ceiling dimensions, and by varying the roof profile. We therefore contend that the present proposals offer an improved design to that approved in 2015.

Regarding the third quote, the 2015 approval had a ground floor level of 4.05m AOD, which was to be increased to 4.5m by planning condition. The present proposal responds to a more challenging floods inundation scenario envisaged by the Flood Risk Assessment commissioned by the applicant, which proposes a ground floor level of 5.24m AOD. We submit that this increased floor level would protect residents from any flood risk, and we commend the planning officer to repeat his 2015 opinion that "I am satisfied that flood risk should not justify refusal of this application".

This criterion applies to larger and mixed-use developments.

Our response above confirms that the new proposal is in full compliance with

03D / Angus Local Development Plan – policy TC16 Tourism Development

The relevant first part of this policy is as follows.

Proposals for new or improved tourism related facilities and tourist accommodation will be directed to sites within development boundaries. Such facilities will be supported in these locations where the development is of an appropriate scale and nature and is in keeping with the townscape and pattern of development.

Being within the Development Boundary of Carnoustie, this proposal for high-quality short-term holiday accommodation is in an area where such uses are 'directed' by the Council under the terms of this policy. We consider that the site is especially suited to this use due to its proximity to the Golf Club and Carnoustie Golf Hotel, which we would describe as the focus for visitors to the town. This type of accommodation will increase the range of accommodation available to visitors, and therefore enhance the appeal of Carnoustie as a visitor destination.

The sections above demonstrate that the proposed development will be of an appropriate scale and nature, and will be in keeping with the townscape and pattern of development.

(The remaining sections of this policy are not relevant to the development proposal).

03E / Policy PV12 Managing Flood Risk

Our response to each part of this policy is considered separately, in turn. "To reduce potential risk from flooding there will be a general presumption against built development proposals:

- on the functional floodplain;

- which involve land raising resulting in the loss of the functional flood plain; or - which would materially increase the probability of flooding to existing or planned development".

The development site is in a built-up area of Carnoustie - at its tourist heart, which attracts thousands of visitors annually. The site is surrounded on three sides by existing development which includes housing and the Carnoustie Golf Hotel and Spa. These buildings, and a large part of the surrounding town are at the same ground level as the application site.

In his Report of Handling on the application approved in 2015, the planning officer wrote:

"Following consultation with the Roads Service they have indicated that flood prevention measures have been constructed in the area and there are a number of existing residential buildings located within the 1:200 year flood plain therefore to be consistent with other residential developments that have been approved since the appeal decision the finished floor level of the development should be increased to 4.5m AOD which would be 300mm above the 1 in 200 year extreme still water level. Subject to a condition requiring the finished floor level of the development being set at 4.5m AOD I am satisfied that flood risk should not justify refusal of this application".

In this application, the ground floor levels have been increased to 5.24m to meet more challenging flood levels revealed in the applicant's Flood Risk Assessment. We therefore contend that the 2015 comments of the planning officer confirm that a development on the site is acceptable in principle, provided that the finished ground floor level takes account of the Flood Risk Assessment advice.

The small area of land raising required to provide a ground floor level of 5.24m would represent only the most marginal loss of the functional flood plain. We submit that the attribute of the proposals in achieving development of an ugly vacant site in the centre of Carnoustie's tourist area should be the deciding factor in this case. This was again acknowledged in the planning officer's 2015 Report of Handling:

"The application site is located in a prominent location adjacent to the Championship Golf Course at Barry Links and since the demolition of the Links hotel it has remained undeveloped in the intervening period and has an unkempt appearance. The proposal would see a prominently located site adjacent to the Championship Golf Course brought back into productive use therefore I accept that the proposals would make a significant contribution towards regeneration and renewal"; and "The application proposes the redevelopment a brownfield site in a manner that is generally consistent with development plan policy".

The present proposals therefore comply with this part of the policy by not increasing the probability of flooding to existing or planned development.

"Development in areas known or suspected to be at the upper end of low to medium risk or of medium to high flood risk (as defined in Scottish Planning Policy (2014), see Table 4) may be required to undertake a flood risk assessment.

This should demonstrate:

- that flood risk can be adequately managed both within and outwith the site; - that a freeboard allowance of at least 500-600mm in all circumstances can be provided;

- access and egress to the site can be provided that is free of flood risk; and - where appropriate that water-resistant materials and construction will be utilised".

The developer has commissioned a Flood Risk Assessment which addresses these issues, and it is submitted with this application.

The report confirms that a ground floor height AOD of 5.24m would protect the occupants from flood inundation. However it identifies that there is a possibility that in certain extreme flooding scenarios there could be tidal period when no dry access is available – at high tide during extreme flood events for a duration of around 4 hours. We point out however that such an event would also prevent dry access to most of Links Parade, most nearby housing and flats, the golf course and pavilions, and the Carnoustie Golf Hotel and Spa. We suggest that the benefits of the development described above, and the fact that occupants would be protected from flooding, should be sufficient to enable approval of the development rather than leaving the site as an ugly vacant gap in the townscape.

Built development should avoid areas of ground instability (landslip) coastal erosion and storm surges. In areas prone to landslip a geomorphological assessment may be requested in support of a planning application to assess degree of risk and any re-mediation measures if required to make the site suitable for use".

The submitted FRA analyses all relevant flood data available to its authors. There is no record of ground instability coastal erosion, storm surges, or landslip at this site.

03F / Other policies of Angus Local Development Plan

The following policies have not been the subject of specific analysis. It is self-evident that the development is in compliance with them (due to location of the development in the town, its small-scale nature, and its previous planning permissions), or that the policies confirm that a development of this nature does not require compliance. Policy DS2: Accessible Development Policy DS4: Amenity Policy DS5: Developer Contributions Policy TC3: Affordable Housing

"Where appropriate development proposals will be:

- assessed within the context of the Shoreline Management Plan, Strategic Flood **Risk Assessments and Flood**

Management Plans; and

- considered within the context of SEPA flood maps to assess and mitigate surface water flood potential.

Guidance

This document provides comprehensive guidance applying to all types of development. To avoid un-necessary commentary, we have identified and respond to only those parts which apply to this development.

Existing successful places in Angus have a distinctive development pattern and attractive interface with the public realm – therefore development proposals will be expected to: Create a perimeter block structure designed with the public facades of buildings facing the street and private spaces enclosed to the rear. Proposals should respond to their location but justification will be required to depart from the preferred perimeter block structure.

 The new proposal respects the 'figure-ground' relationship established by surrounding developments by having comparable block size and position within the site, and comparable front and rear garden sizes.

Contribute positively to the public realm. Boundaries that abut public spaces and routes should be attractive using high quality materials including walls, quality landscaping and railings. Large areas of fencing or blank elevations will not be acceptable where they form a public/private interface.

 The front boundary walls on Links Parade are low and unobtrusive. This character will be adopted by the proposed development. See section 04.7 / Boundary Treatment of this statement.

Ensure principal elevations of buildings face onto streets and public spaces to provide active frontages and natural surveillance. Private spaces including rear gardens should be enclosed by buildings or walls and not visible from public spaces or routes.

This will be fully achieved by the development proposal.

Provide distinctive buildings or landscaping at key locations to aid navigation through and around the area.

 This design statement demonstrates that while distinctive, the proposed building will relate well to its context.

Use building materials, colours and textures that match or are complementary to high quality buildings used in the street or surrounding locality to reinforce local distinctiveness. Materials used in boundaries, elevations and roofs should harmonise with the predominant local character, colour tones and texture where these make a positive contribution to the area.

 Section 04.7 / Materials of this statement describes how the materials have been chosen to complement the surrounding traditional buildings.

Provide sufficient private amenity space to meet the likely needs of the occupants: • The amenity space proposed is equivalent to that on existing surrounding buildings and has already been approved in the previous permissions.

and bedrooms.

03G / Angus Local Development Plan: Design & Placemaking Supplementary

Ensure that new buildings do not result in an unreasonable loss of natural light to neighbouring properties or overlook private areas of neighbouring properties. All developments should meet the Councils privacy standards set out in Angus Councils Planning Advice Notes and avoid clear views into neighbouring living rooms

 The position of the building to accord with the 'figure-ground' relationship of adjoining buildings. This, and the design of its principle elevation facing the street and subsidiary elevation facing the railway to the rear avoids any loss of natural light to, or overlooking of neighbouring properties.

Be appropriate for their rural or urban location in terms of scale, form and appearance.

• This design guide demonstrates compliance with this guidance.

For infill sites, development proposals should:

1. Integrate with the surrounding development pattern. Backland or tandem development will only be acceptable where it is characteristic of the area and where it does not disrupt the established development pattern or detract from the established quality of an area.

2. Respect the shape and size of plots, building lines, building types and heights, materials and boundary treatment of the surrounding area.

3. Be appropriate in terms of their scale and massing and not overshadow or overwhelm neighbouring properties. Where a uniform building height is part of the character of the area, major variations in roof or eaves line will not be appropriate. Buildings may increase in height to mark significant corners or for landmark buildings.

The contents of this design guide illustrate:

1. that the development will integrate with the development pattern, and will not be backland development;

2. that the development is on a plot of similar size to its neighbours, and will respect the building lines, heights, materials and boundary treatment of the surrounding area; and

3. that the scale and massing of the proposal respects its context and will not overshadow or overwhelm neighbouring properties. There is no uniform building height in the area.

03H / Planning conclusion

Policy DS1 of Angus Local Development Plan, and its "Carnoustie and Barry Development Strategy" both state that if a proposed development complies with these and other relevant policies, it will receive Council support.

This part of the design statement proves that the new development proposal accords with the relevant parts of Angus Local Development Plan in all respects.

We have analysed the relevant policies - which are DS1, DS3, PV12, and the Design & amp; Placemaking Supplementary Guidance. We have also reviewed policies DS2, DS4, DS5, and TC3 and find that the development does not reach stated thresholds or is of a scale and type that does not require testing under these policies.

The present proposals address the issue of flooding that resulted in refusal of the previous application.

We note that the planning officer commented regarding the previous 2015 approval that "the proposals would make a significant contribution towards regeneration and renewal".

We contend that the proposal offers a building of improved character, relationship to the surrounding townscape, and greater compliance with design policies and guidance, than that previously approved. We therefore conclude that the development deserves the support of the Council.

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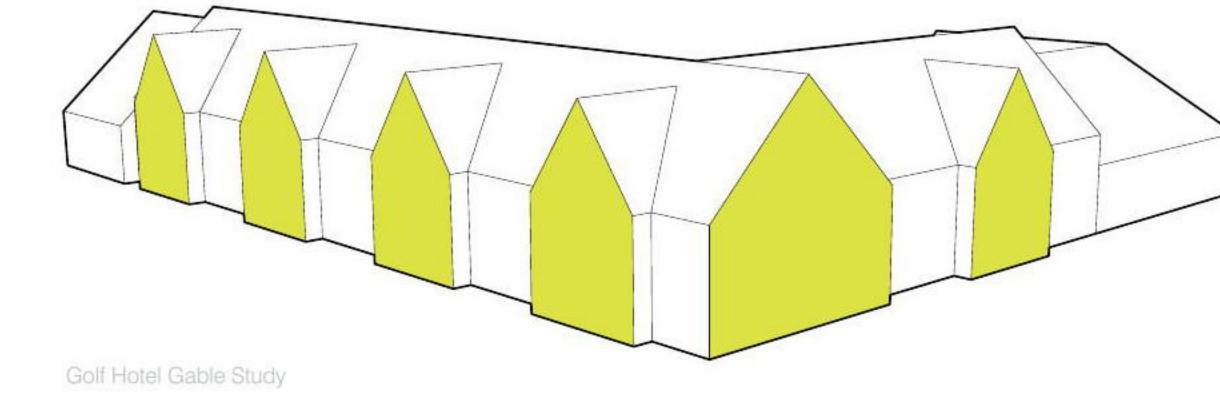
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04.1 / Concept

The principal concept behind the proposals is to respond to the numerous gable wall conditions seen throughout the surrounding buildings.

This allows the proposals to be orientated to the South and to take advantage of the fantastic views out over the Golf Course.

The scheme looks to integrate itself within the built environment through the use of a sandstone rain screen cladding to strengthen it's contextual response to the linear strip of housing and avoid clashing with the dominant Golf Hotel.

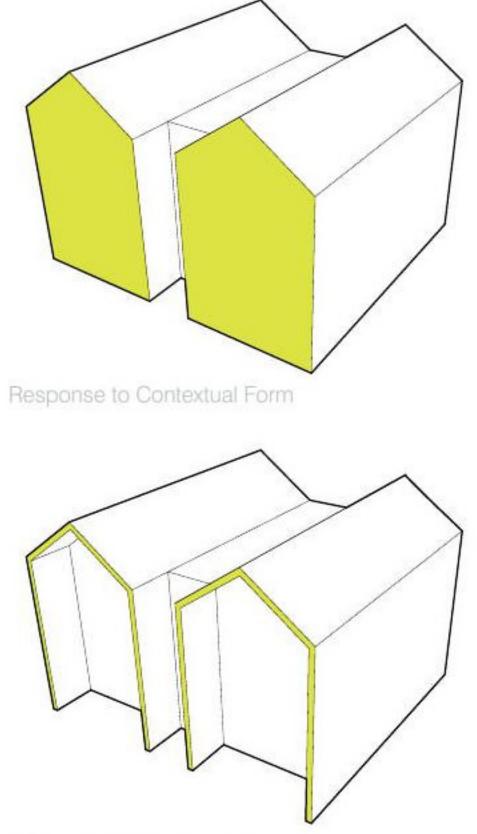




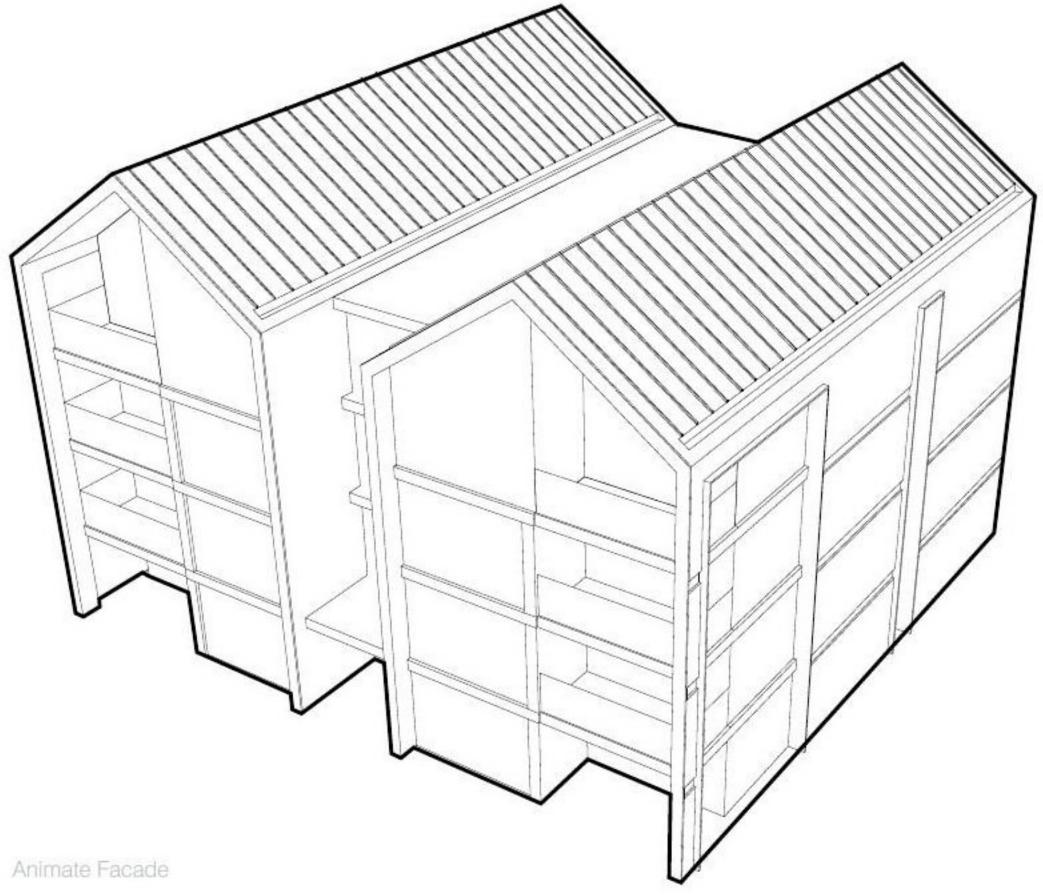
Carnoustie Golf Hotel & Spa



Carnoustie Club House



Expression of Gable Form



Dalhousie Golf Club

04.2 / Form & Layout

The basic form and geometry of the development proposal are dictated ostensibly by the tight site and balancing the number of parking spaces provided to ensure the site is not over developed.

The previously approved proposals created an architectural form which was quite alien to the surrounding environment in both form and layout.

The proposals splits the building into two distinct masses which are glazed to the South Elevation and have integrated balconies to ensure they do not extend beyond the building line. Not only do the balconies provide additional external space for the residents, they also help to add movement to the main facade.

The two buildings adopt a pitched roof and match the height of the previous proposals. The two forms are subtly connected with a glazed link providing access from both the front and rear of the property. This helps to provide a clearly defined and spacious point of arrival to the building.

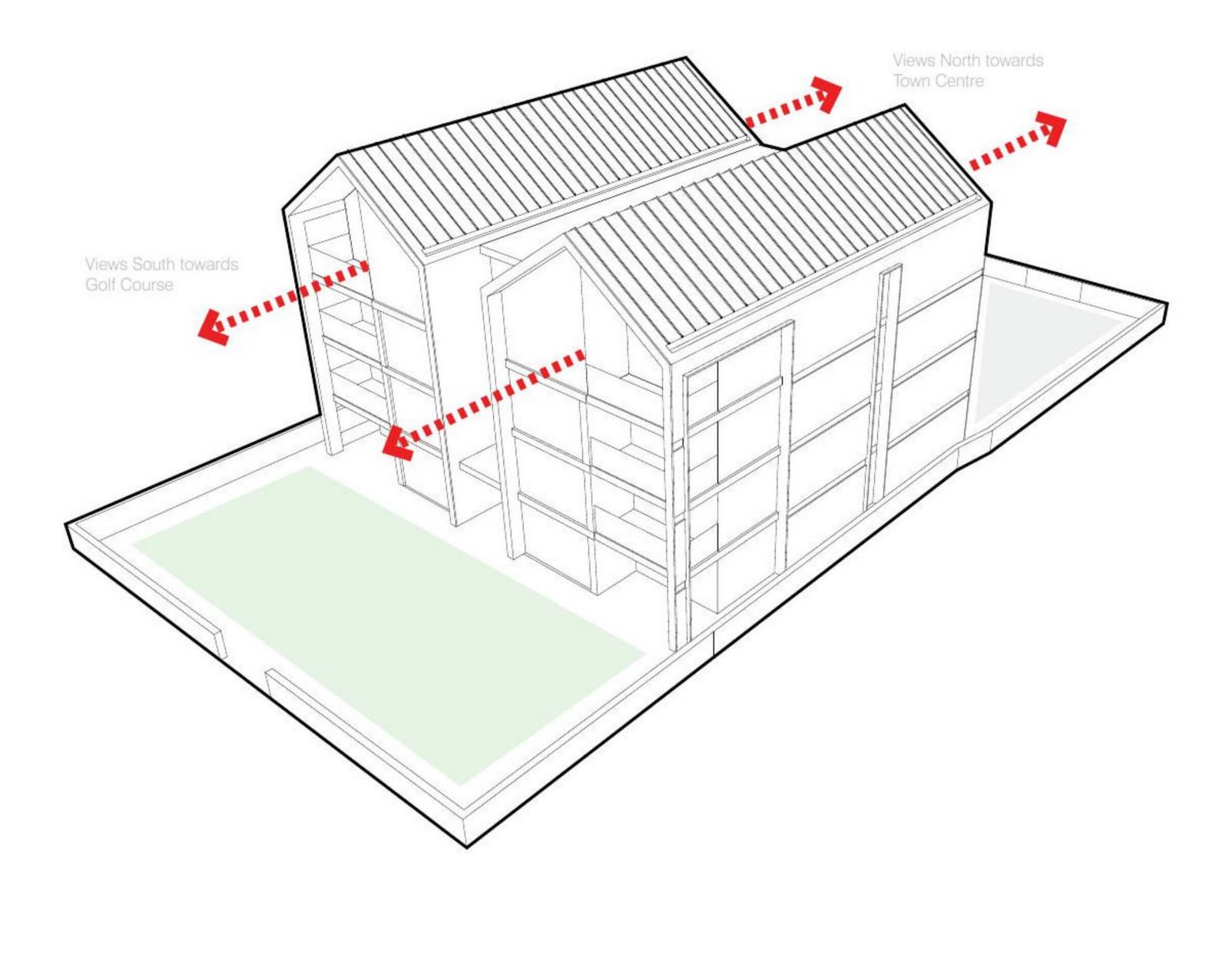
04.3 / Scale & Mix

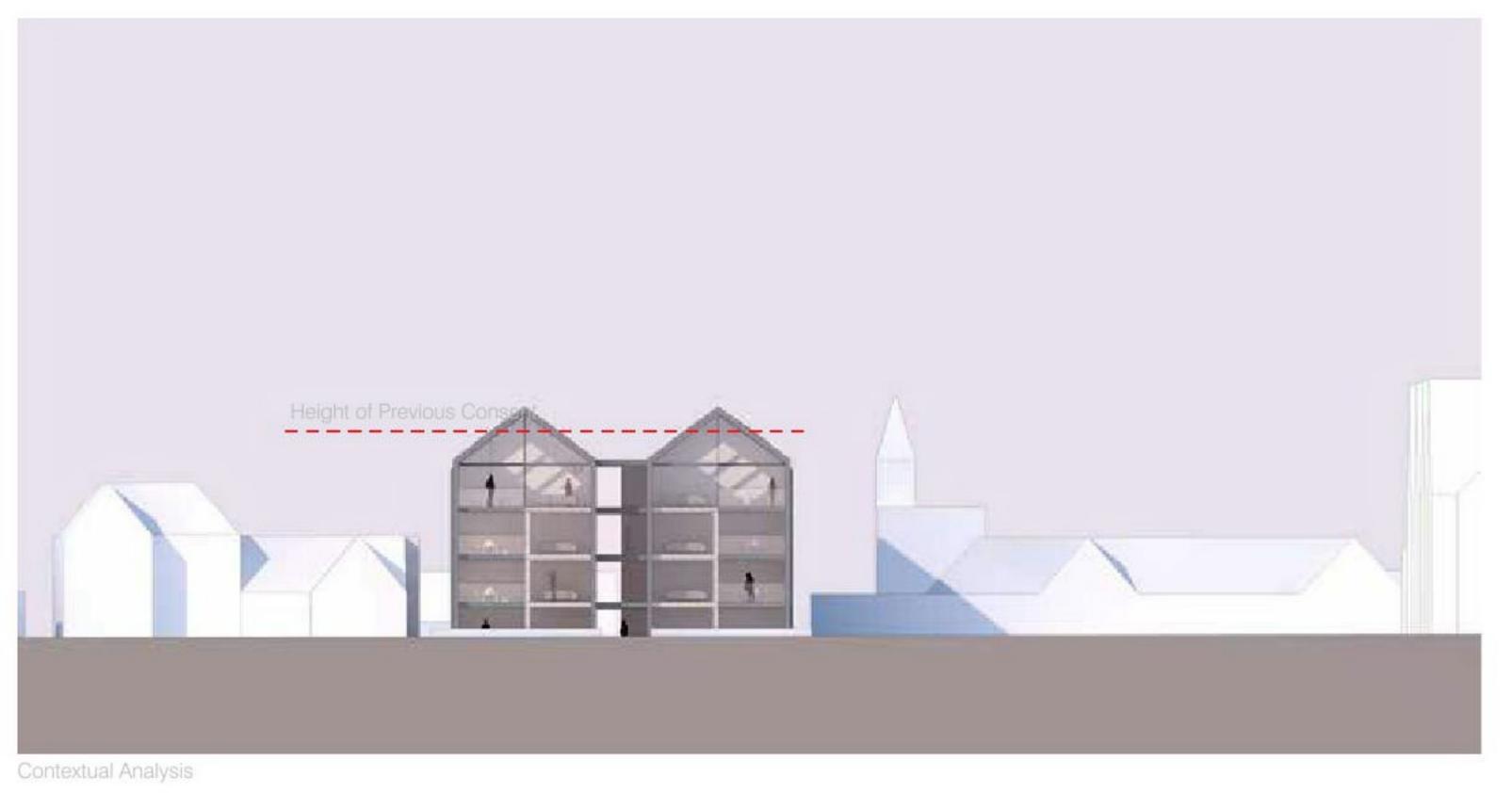
It is proposed that all units within the development are to be accessible and dual aspect and provide views to both the North / South of the site. The mass of the two separate accommodation blocks allow for the creation of penthouse apartments with an exposed roof form internally. The additional height and more open aspect will allow views to be enjoyed - of the Golf Course / Beach beyond from the south facing balconies.

The proposed scheme has eaves levels lower than the previously approved scheme and therefore reducing the impact on neighbouring properties.

The nearby flatted properties are 4-storeys in height and are of a similar mass / form.

In order to respond to the potential for flooding in a 1 in 200 year event the ground flood level of the proposals have been raised to +5.240 and allows for 500mm of free board. In order to mitigate the visual impact the floor to floor levels have been reduced.





04.4 / Materials

A sandstone rainscreen cladding was chosen to clad the building for a number of reasons:-

The neighbouring properties are all of a Sandstone Ashlar construction

 Sandstone rainscreen cladding provides a robust material which requires very little maintenance and maintains a good appreance

There is a limited and restrained palette of materials:-

- Dark Grey coloured metal cladding for the window reveals, the window panels and the entrance lobby cladding. This material provides a punched appearance of the openings and creates a contrast between the sandstone and the glazing.

- Timber cladding the balcony soffits which helps to create a more tactile surface of a smaller scale.

- Glass curtain walling and balcony balustrades.

- Traditional Slate roof

By restricting the selection of materials to these high quality items, the result will be a high quality contemporary design attractive to both prospective property buyers and to the wider public realm.





Stone Rainscreen Cladding

Slate



Timber Cladding



Punched Windows

04.6 / Elevational Treatment

A Sandstone Rainscreen Cladding has been selected to provide a high quality finish to help tie the building to the context whilst also contrasting with the Golf Hotel.

The floor levels are expressed through the detail of the sandstone cladding. The elevations are punctured with a series of windows which provide a regular rhythm to the elevations. They will be deeply recessed from the sandstone facade resulting in a more pronounced elevation, especially when shadows are cast.

The entrance lobby is a simple glazed element consisting of two solid metal faces and two glazed faces The metal roof is extended to form a canopy at the main entrance.

The balconies to the South Elevation are located outside the dining areas to catch the evening sun. They are formed with galvanised steel structure and glass balustrades. They are generously sized to accommodate a table and chairs.

04.7 / Boundary Treatment

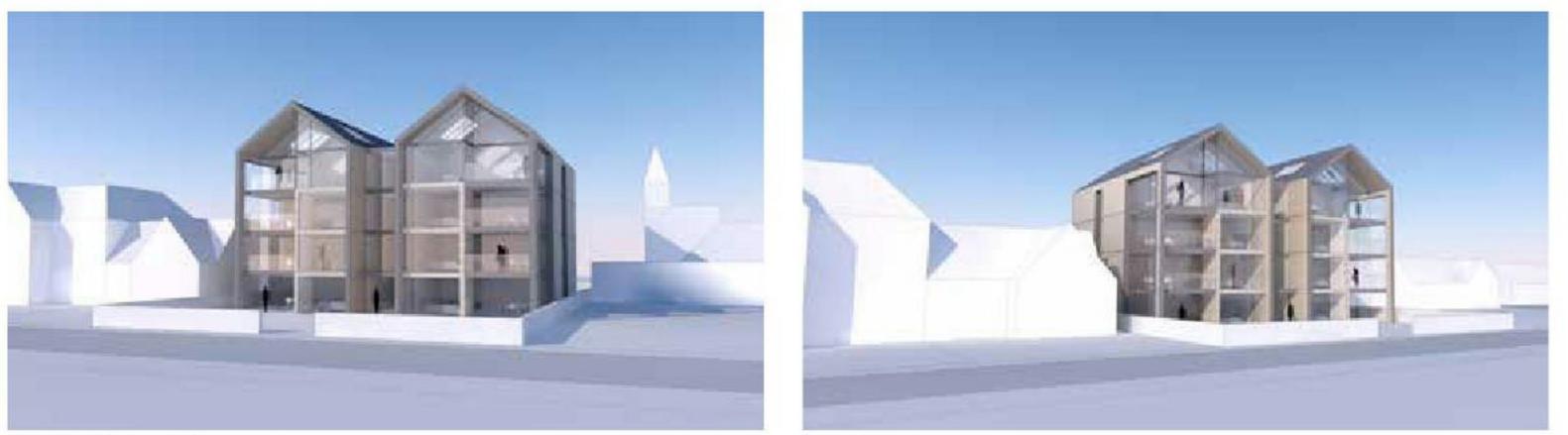
The proposals adopt a single pedestrian entrance along Links Parade and then Vehicle / Pedestrian access from South Taymouth Street.

It is proposed that the elevation along Links Parade / South Taymouth Street will be defined by a Sandstone wall approximately 500mm high topped with a Sandstone Cope and painted mild steel balustrade to 1100mm above exgl. New pedestrian access will be achieved through a single opening in the wall. Low level evergreen perenials are to be planted to the rear of the wall to soften the appearance.

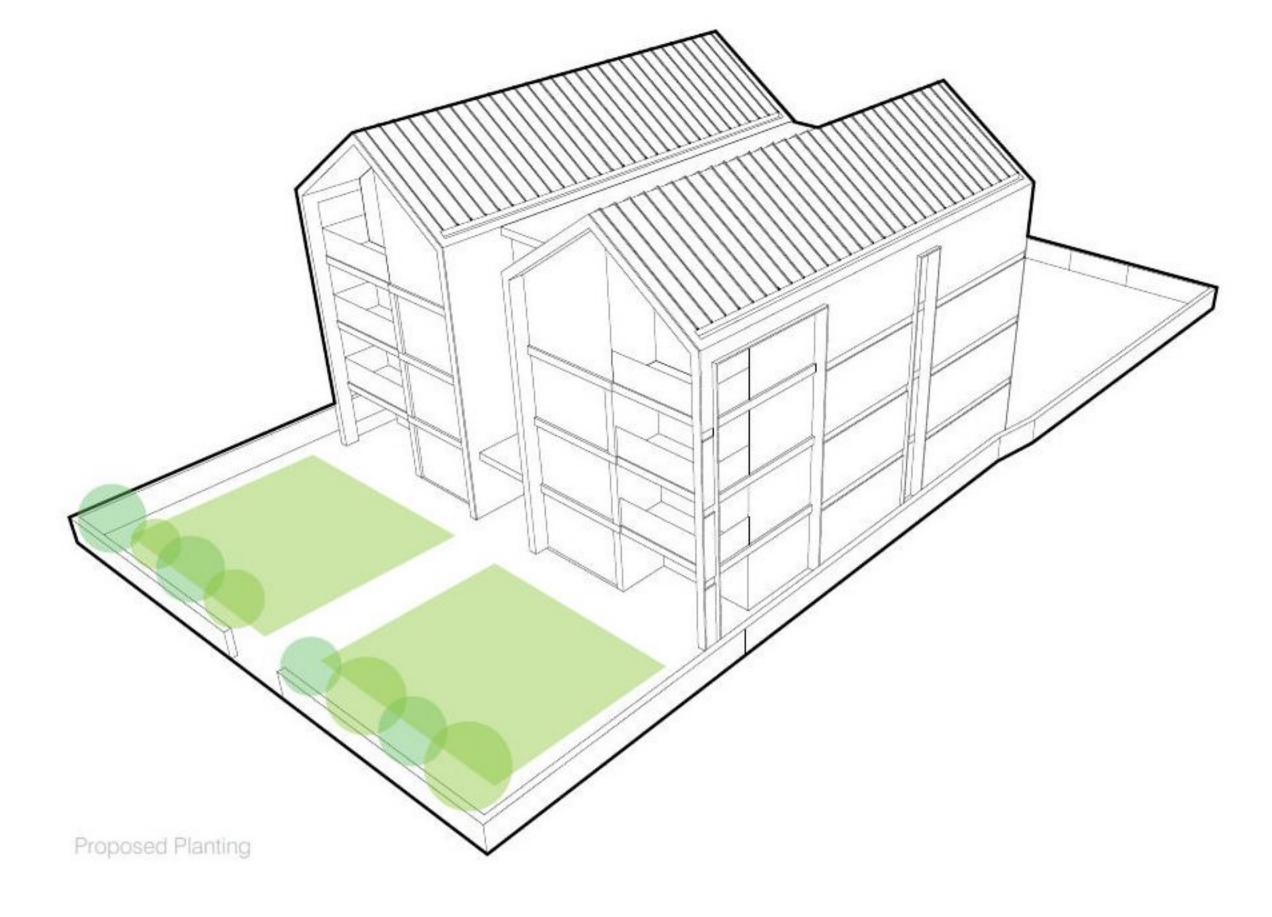
The boundarys between the neighbouring properties are to be of Sandstone construction to match existing and repaired where necessary.



Bay Study



Balconies to South Elevation

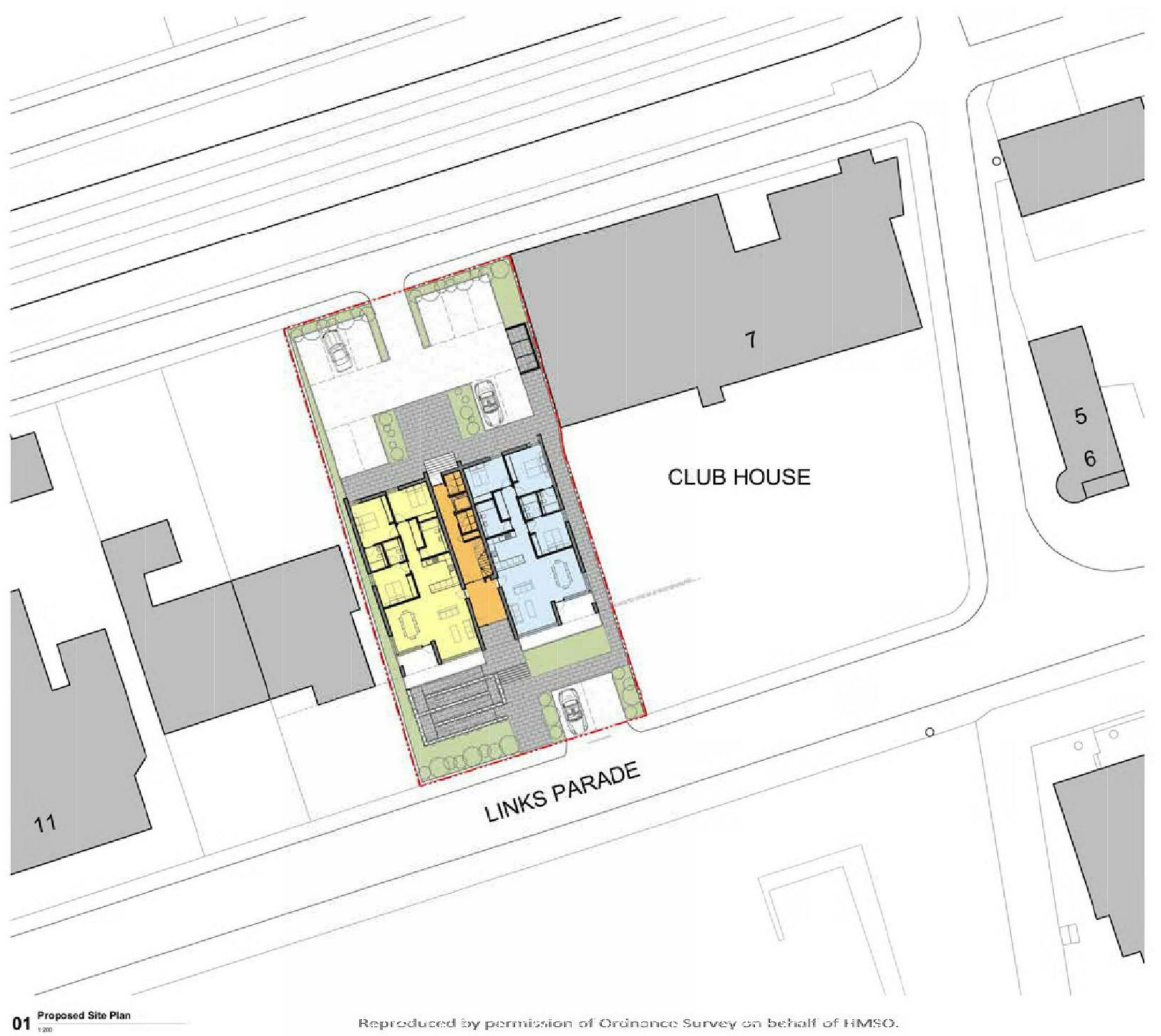




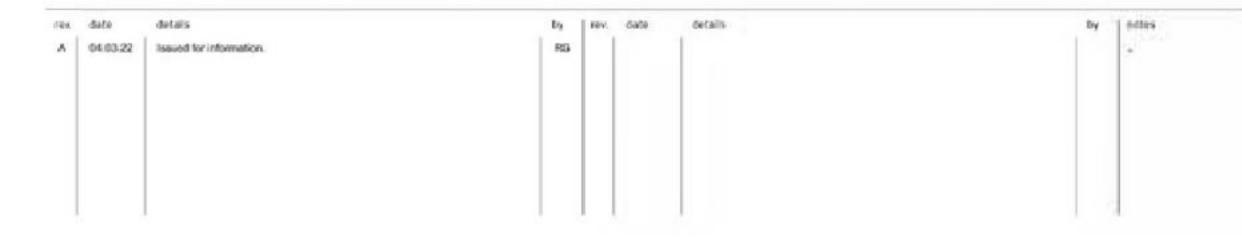
Links Parade



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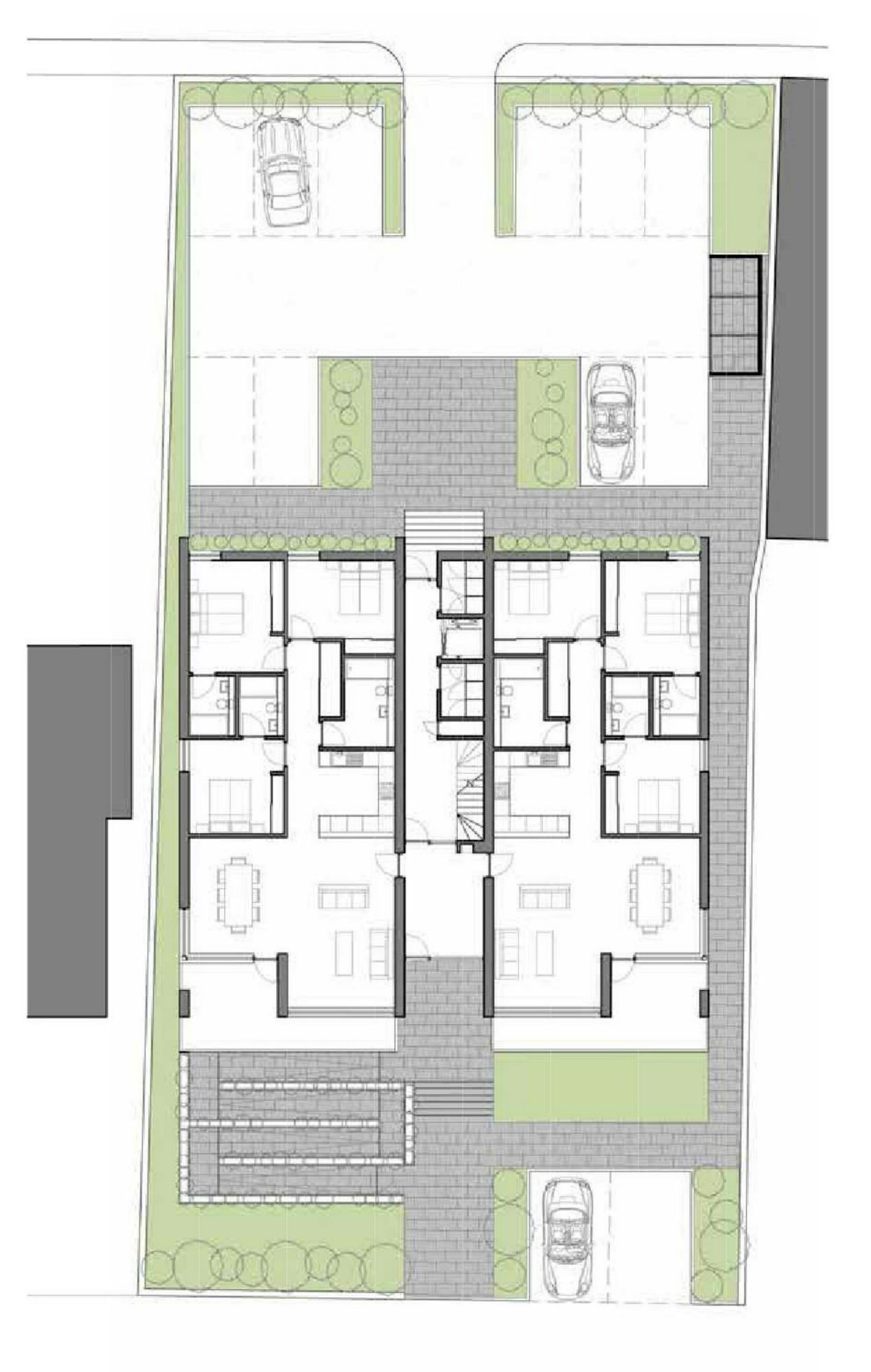


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01 Proposed Ground Floor Plan A

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01 Proposed 1st Floor Plan A

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02 Proposed 2nd Floor Plan A

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03 Proposed Roof A

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02 Proposed North Elevation A

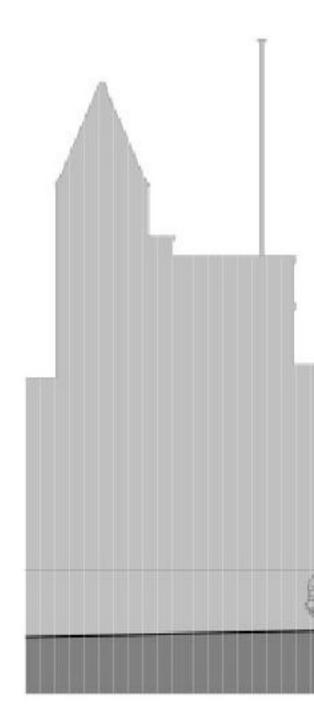
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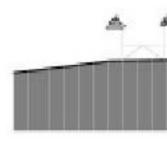








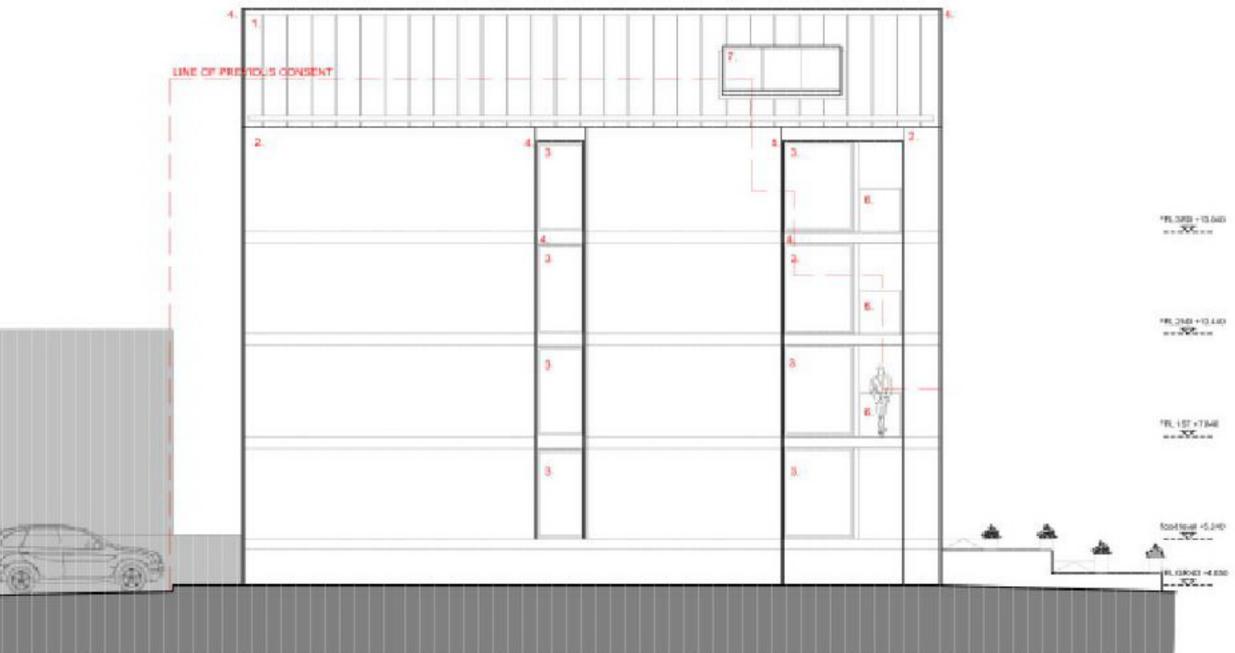
01 Proposed West Elevation A



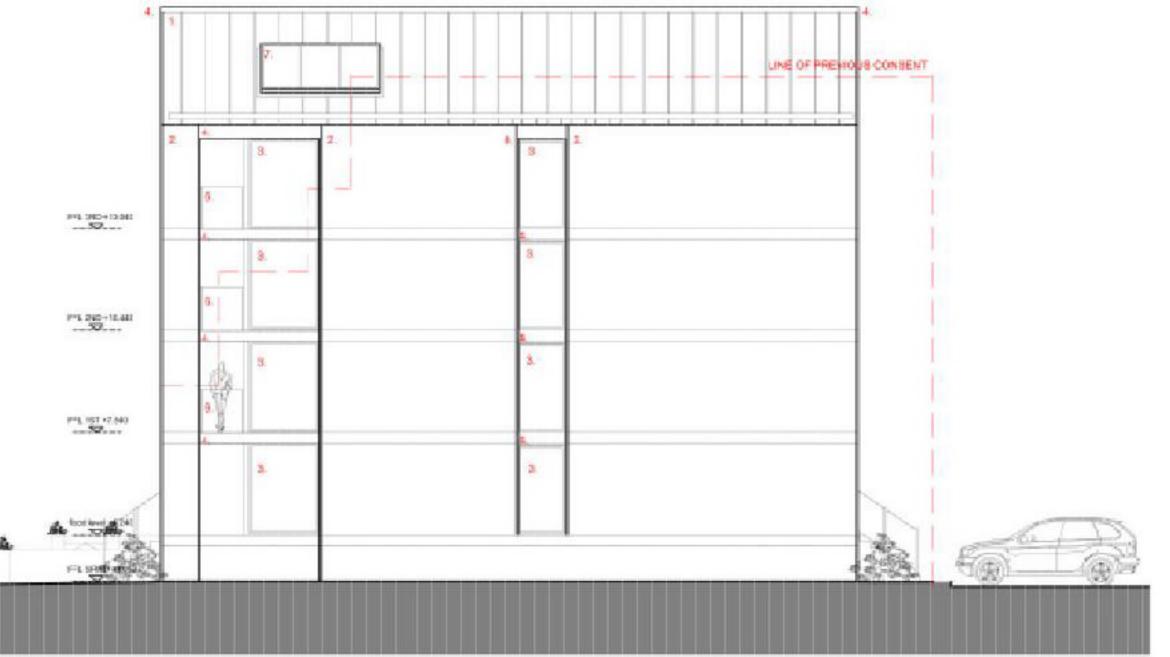
01 Proposed East Elevation A

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International House, Hamilton International Park, Stanley Boulevard, Hamilton, G72 oBN

www.terrenus.co.uk

John Murphy c/o gfivethree 209 Muirshiel Crescent Glasgow Lanarkshire G53 6XD

For the attention of John Murphy,

By e-mail only

Date: 14 December 2022

Celebrating 20 Years in Business

Dear John,

ERECTION OF EIGHT RESIDENTIAL FLATS (FOR SHORT AND LONG TERM LETTING) SITE OF FORMER LINKS HOTEL, 8 LINKS PARADE, CARNOUSTIE, DD7 7JF -22/00646/FULL

What follows is a response to the SEPA Consultation Response (7237) e-mail dated 10 November 2022 and the Roads, Flooding and Drainage consultation response from Angus Council, dated 15 November 2022.

Having reviewed the revised section and plan drawings, as provided by Messrs gfivethree, we can confirm that the revised Final Floor Level of 5.24mOD for the ground floor of the proposed development is now in compliance with the recommendations of the Terrenus Land & Water Ltd Review of JBA Flood

Risk Assessment and Outline Development Options Letter, dated 19 May 2021.

In line with the Terrenus Letter of May 2021, the development below 5.24mOD will include Flood Resilient Design Measures to prevent property from potential flood damage within the potential flood zone.

This letter should be read in conjunction with the Terrenus Land & Water Ltd Review of JBA Flood Risk Assessment and Outline Development Options Letter, dated 19 May 2021.

Fluvial and Tidal Flooding

In the Council Response they state:

"The applicant has submitted a Review of the JBA Flood Risk Assessment and Outline Development Options by Terrenus Land & Water Ltd dated 19 May 2021; in the report under both fluvial and tidal scenarios, the site is inundated."

This is not entirely correct. The JBA FRA review and development options report stated that:

Under the 1 in 200-year fluvial dominated scenario there is dry pedestrian access and egress to the site to the west, via the footbridge over the railway. The land to the north of the station around the junction between Charles Street and Golf Street is flooded. Taymouth Street to the east of the station is also inundated. Emergency evacuation via train on the railway may be possible. The southern portion of the site, up to 3.44mOD lies within the functional flood plain.

This provides dry emergency access and egress to an elevated position with transport links for evacuation.

Terrenus Land & Water Ltd

The 1 in 200-year tidal dominated scenario presents the greatest risk to the site.

Under the 1 in 200-year tidal dominated scenario there is no dry pedestrian access and egress to the site. The land to the north of the station is free from tidal flooding. The site and South Taymouth Street up to 3.88mOD lies within the functional flood plain.

The proposed Final Floor Level for the Ground floor is now set at the minimum recommended level of 5.24mOD, which is inclusive of an appropriate freeboard. Placing persons and property outwith the tidal flood zone. Given the cyclical nature of tidal flooding and the provision of flood resilient design measures below 5.24mOD, the development would form an island of development for 4-hours. At which point the tide would recede and access would be restored. This in combination with the proposed flood warning system would protect persons and property from the assessed flood risk.

Land Use Vulnerability

Both the Council and SEPA make reference to the increase in Land Use Vulnerability. We do not consider the proposed redevelopment to constitute an increase in Land Use Vulnerability classification as it is the re-development of an existing brownfield site that was formerly a hotel.

SEPA do make note that the previous lawful use of the site, as a hotel is the same vulnerability class as the proposed residential development, although risk can increase within the same category.

In this case, it is anticipated that the increased risk would come from additional person(s) being potentially at risk from increased housing density within the proposed development. We do not concur with this assumption given the previous use on site as a hotel. The number of temporary hotel guests versus the potential short term or long term tenancies is not considered to be significantly different for the site area.

We note the SEPA Flood Risk Background Paper (Section DM.27, Table on Development on previously developed sites) and DM Requirement 1c Redevelopment of sites states that land uses classed as water compatible or essential infrastructure may be acceptable. Given the previous land use as a Hotel, we would regard this site more in line with DM Requirement 1b and view a like for like land use vulnerability classification as permissible.

Furthermore, Section DM.29 Redevelopment of sites (criterion c) states:

"Proposals involving the introduction of new buildings on a previously developed site in a fluvial or coastal flood risk area may increase flood risk through the introduction of new receptors (e.g. buildings and people) into the hazard area. This type of redevelopment could be considered acceptable if suitable mitigation measures are introduced that result in no net increase in flood risk on or off site. Factors to be considered include the specific flood risk characteristics for the site and the vulnerability of the proposed land use."

Based on Section DM.29, as noted above, the proposed development could be considered acceptable as there is no increase in land use vulnerability and there is no increased flood risk to others through the application of the proposed mitigations outlined in the Terrenus Land & Water Ltd Review of JBA Flood Risk Assessment and Outline Development Options Letter, dated 19 May 2021

Cont.

AC14

Page 3 of 3

Links Parade, Carnoustie Consultation Response Letter For Mr John Murphy

-0000000-

I trust that this letter meets with your requirements. Should you wish to discuss the contents of the letter then please do not hesitate to contact the undersigned.

Yours sincerely,

Douglas Aitken Terrenus Land & Water Ltd

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DEVELOPMENT MANAGEMENT REVIEW COMMITTEE

APPLICATION FOR REVIEW (NON-DETERMINATION) – FORMER LINKS HOTEL, 8 LINKS PARADE, CARNOUSTIE

APPLICATION NO 22/00646/FULL

APPLICANT'S SUBMISSION

Page No

- ITEM 1 Notice of Review
- **ITEM 2** Statement of Appeal
- ITEM 3 Flood Risk Assessment Summary
- **ITEM 4** Location/Site Plan

Angus					
	Angus House Orchardbank Business Park Forfar DD8 1AN Tel: 01307 473360 Fax: 01307 461 895 Email: plnprocessing@angus.gov.uk				
Applications cannot be va	alidated until all the necessary documentation	on has been submitted	and the required fee has been paid.		
Thank you for completing	this application form:				
ONLINE REFERENCE	100620346-001				
	ne unique reference for your online form only ease quote this reference if you need to cor		prity will allocate an Application Number when ority about this application.		
Applicant or A	Agent Details n agent? * (An agent is an architect, consul	tant or someone also :	acting		
	in connection with this application)	tant of someone else a	Applicant 🛛 Agent		
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Please enter Agent detail	s				
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Ref. Number:		You must enter a B	uilding Name or Number, or both: *		
First Name: *	John	Building Name:			
Last Name: *	Paton	Building Number:	0		
Telephone Number: *	01360449442	Address 1 (Street): *	Bankers Brae		
Extension Number:		Address 2:	Balfron		
Mobile Number:		Town/City: *	Glasgow		
Fax Number:		Country: *	United Kingdom		
		Postcode: *	G63 0PY		
Email Address: *	john@pp-d.co.uk				
Is the applicant an individual or an organisation/corporate entity? *					

Applicant Details			
Please enter Applicant	details		
Title:	Mr	You must enter a Building Name or Number, or both: *	
Other Title:		Building Name:	Quattro Group Head Office
First Name: *	John	Building Number:	
Last Name: *	Murphy	Address 1 (Street): *	Greenway Court
Company/Organisation	Quattro Group	Address 2:	Canning Road
Telephone Number: *		Town/City: *	Stratford
Extension Number:		Country: *	UK
Mobile Number:		Postcode: *	E15 3ND
Fax Number:			
Email Address: *	john@pp-d.co.uk		
Site Address Details			
Planning Authority:	Angus Council		
Full postal address of th	ne site (including postcode where availab	le):	
Address 1:			
Address 2:			
Address 3:			
Address 4:			
Address 5:			
Town/City/Settlement:			
Post Code:			
Please identify/describe the location of the site or sites			
Site Of Former Links Hotel, 8 Links Parade, Carnoustie, DD7 7JF			
Northing		Easting	

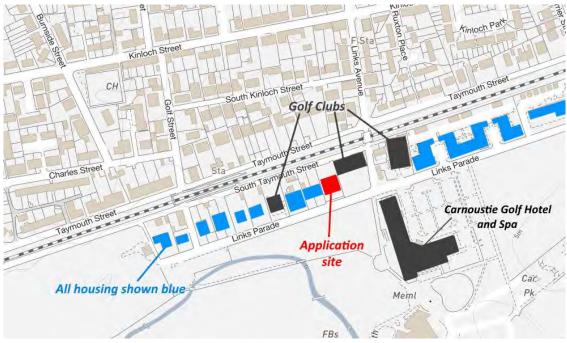
Description of Proposal
Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: * (Max 500 characters)
Erection of eight residential flats, for short and long term letting.
Type of Application
What type of application did you submit to the planning authority? *
 Application for planning permission (including householder application but excluding application to work minerals). Application for planning permission in principle. Further application. Application for approval of matters specified in conditions.
What does your review relate to? *
 Refusal Notice. Grant of permission with Conditions imposed. No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.
Statement of reasons for seeking review
You must state in full, why you are a seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)
Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.
You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.
Please see the following uploaded documents which present the applicant's case: 8 Links Parade Carnoustie - Local Review Statement for Angus Council Local Review Body 8 Links Parade Carnoustie Flood Risk Assessment Summary for Angus Council Local Review Body
Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *
If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

	pporting documents, materials and evidence which you wish to s review. You can attach these documents electronically later in the	
	e - Local Review Statement for Angus Council Local Review Body Angus Council Local Review Body	y 8 Links Parade Carnoustie Flood Risk
Application Det	ails	
Please provide the applicatic authority for your previous ap	on reference no. given to you by your planning oplication.	22/00646/FULL
What date was the applicatio	on submitted to the planning authority? *	21/10/2022
Review Proced	ure	
process require that further in required by one or a combination	decide on the procedure to be used to determine your review and nformation or representations be made to enable them to determ ation of procedures, such as: written submissions; the holding of the subject of the review case.	ine the review. Further information may be
	a conclusion, in your opinion, based on a review of the relevant in ther procedures? For example, written submission, hearing session	
In the event that the Local R	eview Body appointed to consider your application decides to ins	pect the site, in your opinion:
Can the site be clearly seen	from a road or public land? *	🗙 Yes 🗌 No
Is it possible for the site to be	e accessed safely and without barriers to entry? *	🗙 Yes 🗌 No
Checklist – App	plication for Notice of Review	
	g checklist to make sure you have provided all the necessary inf may result in your appeal being deemed invalid.	formation in support of your appeal. Failure
Have you provided the name	Have you provided the name and address of the applicant?. *	
Have you provided the date a review? *	and reference number of the application which is the subject of th	nis 🛛 Yes 🗌 No
	n behalf of the applicant, have you provided details of your name hether any notice or correspondence required in connection with or the applicant? *	
Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *		
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8 Links Parade, Carnoustie

Appeal against non-determination of planning application

Statement to Angus Council Local Review Body



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The present application	5
Response to the flooding issue	5
Other matters	7
Re-use of a prominent vacant brownfield site in an important part of the town	9
Concluding statement	9
	Planning permission granted in 2015 Planning application refused in 2020 The present application Response to the flooding issue Other matters Re-use of a prominent vacant brownfield site in an important part of the town

Produced by :





Summary of case

This statement presents the case to Angus Council's Local Review Body that a planning application (reference 22/00646/FULL) to allow construction of eight residential flats (for short and long term letting) on the site of the former Links Hotel at 8 Links Parade Carnoustie, registered on 21st October 2022 and not determined, should be granted.

The following is a summary of the case that the application should be granted.

- The proposals represent an opportunity to redevelop an ugly vacant site in the heart of Carnoustie's main tourist district. It is a gap in the consistent line of buildings along the Carnoustie town frontage. The location of the site and its surroundings are illustrated in section 1 of this report.
- 2. Planning permission was previously granted in 2015 for a development on this site which contained the same accommodation as the present proposal. We include further details of this approval in section 2 of this report, and elaborate on the Planning Officers comments in section 6.
- 3. On the basis of that permission the site was subsequently sold to the present applicant, who was dissatisfied with the approved flat-roof design and want a more traditional design approach which better reflected the design of surrounding buildings. In 2020 he submitted an application to seek approval of these changes. In his Report of Handling, the Planning Officer went as far as writing: "The design is considered to be an improvement on a four-storey scheme which was previously deemed to be acceptable on the site". However the application was refused on flooding grounds. Please see section 3 of this report for further information on this revised scheme, including a comparative illustration.
- 4. The present application sought to resolve the flooding issue by ensuring that the lowest floor level was above SEPA's defined flood level, including allowance for climate change and 'freeboard' allowance. A technical appraisal was carried out by qualified consultants and submitted with the application. This demonstrated that the occupants of the proposed development would be protected from flooding and that a flood-free pedestrian access and egress route would exist. Please see section 5 of this report for further information).
- 5. Despite this, SEPA and the Council's Roads, Flooding and Drainage Team still object to the application. The consultants point out that these objections first mis-understand SEPAs own Land Use Vulnerability categories. They ignore the fact that the proposals include emergency pedestrian access and egress to an elevated position, and that the final floor levels meet SEPA and Council guidance for design level plus Climate Change Allowance and an appropriate freeboard. Please see section 5 for elaboration on these facts.
- 6. In his Report of Handling of the refused application, the Planning Officer confirmed that the proposals were an appropriate use for the site in terms of the Local Development Plan, and would create a good living environment. He also confirmed that the proposals are consistent with the mixed character and pattern of development in the surrounding area, and that the design is an improvement on the design approved in 2015. Finally, he confirmed that the proposals would not result in any significant direct or indirect impacts on cultural heritage or the natural environment. Please see section 6 of this report which contains the Planning Officer's detailed comments.
- 7. We describe how redevelopment of this site would achieve an attractive building on a prominent vacant brownfield site in the heart of Carnoustie's tourist district, and as such is in compliance with Angus Local Development plan and Scotland's new National Planning Framework 4. Please see section 7 of this report for our detailed case in this regard.

We submit to the Local Review Body that the proposals are an appropriate development on a prominent site within the town, and that the risk of flooding has been properly taken into account in its design.

We therefore respectfully urge the Local Review Body to approve the application.

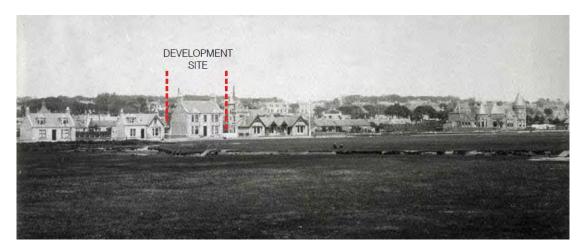


1 The site and surroundings

1.1 This statement presents the case to Angus Council's Local Review Body that a planning application (reference 22/00646/FULL) to allow construction of eight residential flats (for short and long term letting) on the site of the former Links Hotel at 8 Links Parade Carnoustie, registered on 21st October 2022 and not determined, should be granted.

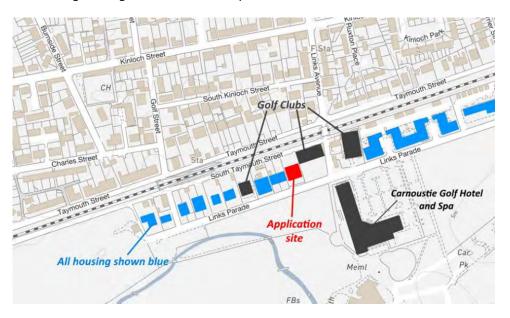
The former hotel

1.2 The former Links Hotel is shown in the photograph below, with the present application site indicated.



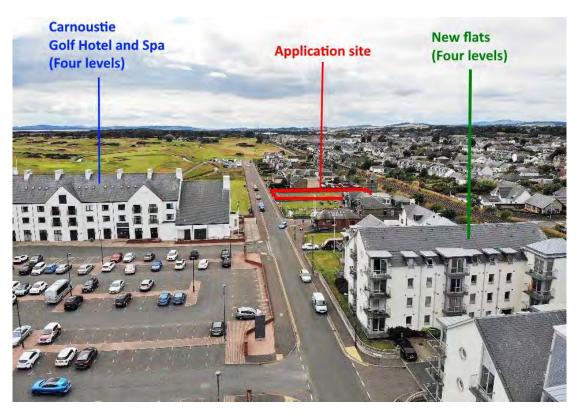
The surrounding buildings

1.3 The site has lain vacant since the Links Hotel was demolished some years ago. It lies within the row of buildings that traditionally formed Carnoustie's 'frontage' onto the Championship Golf Course, and is surrounded on either site (west and east) by houses, flats and golf club buildings. To the north is the main Dundee – Aberdeen railway on a slight embankment. To the south is the Carnoustie Golf Hotel and Spa building, and the 18th green of the Championship Golf Course which at major events has grandstands erected around it. The relationship between the appeal site and surrounding buildings is shown on the map below.

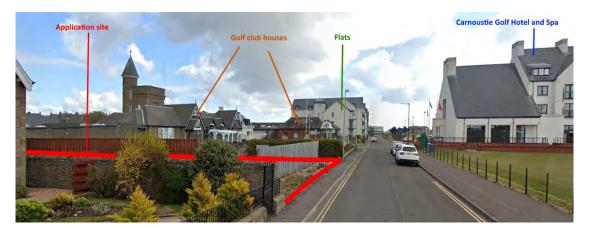


bdd

1.4 The photograph below shows the surrounding buildings.



1.5 The photograph below shows the context of the site from street level with the site in the foreground, the four-level Carnoustie Golf Hotel and Spa on the right, golf club-houses behind the site, and the recent four-level flats in the background.



1.6 The site is therefore centrally located in Carnoustie's golf district – which attracts thousands of visitors every year and major international championships, and is also within an established mixeduse area which includes housing, hotels and boarding houses, golf clubs and leisure uses.

The site at present

1.7 The continued vacant condition of the site detracts from the environmental and townscape quality of this important part of the town. The following photograph shows the present condition of the application site.

bdd



2 Planning permission granted in 2015

2.1 Planning application 15/00297/FULL for the erection of eight apartments on the site was granted by delegated powers on 23rd March 2015. The approved elevations were as shown in the following drawing.



2.2 In his Report of Handling, the Planning Officer wrote: "The application proposes the redevelopment a brownfield site in a manner that is generally consistent with development plan policy. There are no material considerations of sufficient weight which would warrant refusal of the application and as such I recommend that the application be approved subject to conditions".

3 Planning application refused in 2022

3.1 After the granting of this permission, the site was sold to the present applicant. The design was reconsidered, with the preference being for a building that more closely resembled the surrounding



buildings, in particular the Carnoustie Golf Hotel and Spa to the south and recent housing to the east. Principally, a design with pitched roofs was preferred, rather than the flat roofs in the approved scheme. These are illustrated in the following photographs.

The Carnoustie Gold Hotel and Spa



The flats to the east



3.2 The proposed development is illustrated by the following front elevation drawing, which can be compared to the 2015 approval drawing on the previous page.



01 Proposed South Elevation

- 3.3 This revised scheme was submitted as application 20/00642/FULL.
- 3.4 The application was refused on 27th May 2022 for the following reasons.

1. The proposal is contrary to Policy 2 of TAYplan and policies DS1 and PV12 of the Angus Local Development Plan (2016) because it involves new residential development on a vacant site on the functional floodplain, would be subject to an unacceptable level of flood risk and is consequently development which is not of an appropriate nature for the proposed location.

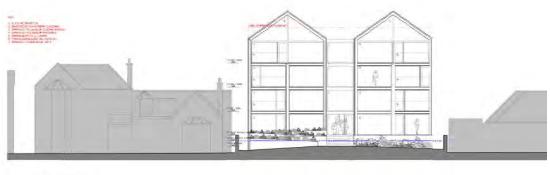


2. The proposal does not represent sustainable development in terms of Scottish Planning Policy as it would involve residential development on a vacant site on the functional floodplain and is subject to an unacceptable level of flood risk; and that risk represents an adverse impact which would significantly outweigh the benefits of the proposal when assessed against wider policies in the SPP.

3.5 We point out that the floor levels of this application were the same as those approved in 2015.

4 The present application

- 4.1 Following refusal of this application, the applicant re-designed the proposed building to ensure that its occupants would be protected from the extreme flooding event scenarios that had led to refusal of the previous application.
- 4.2 The impact of this is that the ground floor level is raised by 1.19 metres, which allows for 600mm freeboard above the 200 year flood level, including climate change allowance. The proposed front elevation is shown on the following drawing. The flood level is indicated by a blue line, and the ground-floor level can be seen to be above this level.



01 Proposed South Elevation A

Flooding objections

4.3 SEPA has objected to this application for the following reason.

"This is because the proposed development is expected to put people or property at risk of flooding which is contrary to Scottish Planning Policy. Paragraph 256 of SPP states:...the planning system should prevent development which would have a significant probability of being affected by flooding or would increase the probability of flooding elsewhere. Piecemeal reduction of the functional floodplain should be avoided given the cumulative effects of reducing storage capacity".

4.4 The Council's Roads, Flooding and Drainage Team are unable to support the application for the following reason.

"The applicant has submitted a Review of the JBA Flood Risk Assessment and Outline Development Options by Terrenus Land & Water Ltd dated 19 May 2021; in the report under both fluvial and tidal scenarios, the site is inundated. In addition, the proposal to erect residential flats in a vacant land, therefore increasing the vulnerability on site, is contradictory to the Scottish Planning Policy".

5 Response to the flooding issue

5.1 Terrenus Land & Water Ltd were commissioned by the applicant in January 2021 to engage with the Council Planning process via the Council Flood Officer to arrive at a viable residential development



for the site. This commission lead to the issue of factual reports which were submitted with the application.

5.2 Terrenus Land & Water Ltd have now prepared a summary statement for the Local Review Body (which is submitted as a separate document). This summary also addresses the concerns of SEPA and the Council's Roads, Flooding and Drainage Team.

Land use vulnerability

- 5.3 In their summary statement, Terrenus Land & Water Ltd point out that the consultation response from both SEPA and the Council raised concerns over the change in Land Use Vulnerability classification at the site. However, there is no change in Land Use Vulnerability as:
 - It is a redevelopment of an existing Brownfiled site (former Hotel).
 - A Hotel and short or long-term letting residential flats fall under than same Land Use Vulnerability classification category as noted by SEPA.
 - There is no significant increase in risk within the vulnerability classification as hotel residence numbers are not considered to be significantly different to letting tenancy numbers.
 - Under the SEPA Flood Risk Background Paper (Section DM.27, Table on Development on previously developed sites) the site qualifies as a "like for like" Land Use Vulnerability Classification and is therefore compliant with the background paper and permissible.
 - Under the SEPA Flood Risk Background Paper Section DM.29 Redevelopment of sites (criterion c) the proposed development is acceptable as:
 - There is no increase in Land Use Vulnerability Classification.
 - No increased flood risk to others.
 - o Suitable proposed mitigation as part of the proposed development.

Fluvial flooding

5.4 In their summary statement, Terrenus Land & Water Ltd Dry explain that emergency pedestrian access and egress to an elevated position with transport links for evacuation is available along South Taymouth Street to the west and over the pedestrian railway footbridge. This access and egress is considered valid and appropriate for the site under Scottish Planning Policy.

Tidal flooding

- 5.5 Updated peak flood water levels under the 1 in 200-year tidal scenario are established to be at 3.88mOD. This level cuts off dry emergency pedestrian access or egress to the site for a short interval. Given the cyclical nature of tidal flooding, the site would be impounded for a 4-hour period, before ebbing tide would reduce peak water levels to a point where access and egress along South Taymouth Street would be re-established.
- 5.6 The 1 in 200-year plus climate change allowance design peak water level is 4.64mOD. This was applied to the design in conjunction with flood resilient design measures and flood mitigation measures.
- 5.7 We would add that in extreme tidal flooding events such as these, all surrounding properties including the Carnoustie Golf Hotel and Spa and Links Road itself would be similarly impounded.



Flood Resilient Design & Risk Mitigation

- 5.8 The following flood mitigation measures are proposed to facilitate the development of the site:
 - Final Floor Levels of 5.24mOD meeting SEPA and Council guidance for design level plus Climate Change Allowance and an appropriate freeboard (+0.6m).
 - All persons and property kept outwith the tidal inundation zone.
 - All development below 5.24mOD application of flood resilient design.
 - Mandatory registration to the SEPA Flood line.
 - Installation, Operation & Maintenance of an appropriate Flood Warning System to facilitate early warning and egress (Both Tidal & Fluvial).
 - Operation and Maintenance of a Flood Emergency Evacuation Plan.
- 5.9 In addition to the above, ten additional Flood Resilient Design measures are proposed, all of which comply with UK Government Guidance for flood resilient construction.
- 5.10 References are made above to Scottish Planning Policy. Since the application was submitted, Scottish Planning Policy was superseded on 13th February 2023 by Scottish National Planning Framework 4 (NPF4). We confirm that references made to Scottish Planning Policy apply equally to NPF4.

Conclusion

- 5.11 Terrenus Land & Water Ltd conclude their summary statement as follows.
 - As a gap site on the existing developed Carnoustie Bay sea front, the site occupies a prime location on Links Parade. The proposed development does not increase the Land Use Vulnerability Classification and does not increase risk within the classification category. It is a like for like development with appropriate design and compliance with Government, Regulator and Local Council guidance.
 - There is a known fluvial flood risk to the site from the Barry Burn. A viable dry emergency pedestrian access to elevated ground with transport links is available.
 - There is a short time limited 4-hour period when the site will be impounded by tidal flooding. Flood resilient design and flood mitigation measures will protect persons and property during this period.
 - Overall, there is no increase in flood risk to others and potential betterment to local flood warning in the area.
 - On balance, it is considered that the proposed flood resilient design, flood warning system and other associated mitigation measures are appropriate, feasible and in broad accordance with Scottish Planning Policy.

6 Other matters

6.1 Other matters referred to in the Planning Officer's Report of Handling were as follows (with the most



important parts in bold text by the present author).

Appropriate use

6.2 The Planning Officer wrote: "The application site is located in an area which has a mix of land uses, dominated by residential property or golf related uses (golf course, club houses, hotel etc). The main east coast railway line is located north of South Taymouth Street. Having regard to the advice provided by environmental health requesting mechanical ventilation to reduce potential noise impacts from the railway, **it is considered that residential use of the site is not incompatible with surrounding land uses**. There are no surrounding land uses which would render residential use of the site unsuitable and **the site is not protected for any particular use in the local development plan**".

Living environment in the proposed building

6.3 The Planning Officer wrote: "In terms of the residential environment to be provided, the nature of accommodation provided **would create a good living environment**. The lack of dedicated private amenity ground is considered to be acceptable having regard to the availability of open spaces close to the site. Adequate space would be available for vehicle parking and bin and recycling storage to the rear of the building".

Built environment

6.4 The Planning Officer wrote: "In terms of built environment, the proposal is consistent with the mixed character and pattern of development in the surrounding area and provides an acceptable design solution when considered against the Design and Placemaking Supplementary Guidance. Links Parade has a mix of traditional sandstone buildings and more modern flatted blocks and a hotel. The design attempts to take cues from the shapes and form of traditional buildings in the surrounding area, but with a modern interpretation including a principal elevation dominated by large areas of glazing. The design is considered to be an improvement on a four-storey scheme which was previously deemed to be acceptable on the site, a planning permission which has now lapsed. The scale of the building is similar to other more recently constructed buildings found on Links Parade and is of a similar scale to a previously approved development on this site. Precise details relating to external finishes could be agreed by planning condition".

Cultural heritage

6.5 The Planning Officer wrote: "The proposal would not result in any significant direct or indirect impact on cultural heritage. It is noted that there is a listed building to the east at Simpsons Golf Shop, 6 Links Parade but that building is separated from the site by the Caledonia Golf Club building and Links Avenue and the proposed development would not have any significant impact on views to or from the golf shop".

Natural heritage

6.6 The Planning Officer wrote: "The site is not subject of any designation for natural heritage. The former hotel on the site has been removed and it remains as a vacant brownfield site with little natural heritage value. The proposal would result in no significant direct or indirect impacts on the natural environment".



7 Re-use of a prominent vacant brownfield site in an important part of the town

7.1 The Government's new National Planning Policy Frame work 4 (NPF4) contains the following as one of its overarching spatial principles:

"Compact urban growth. We will limit urban expansion so we can optimise the use of land to provide services and resources, including carbon storage, flood risk management, blue and green infrastructure and biodiversity".

7.2 Angus Local Development Plan's Strategy states:

"Enshrined in the ALDP is a presumption in favour of sustainable development. This means that the Council will take a positive approach when considering development proposals and will work proactively with applicants to find solutions which mean that proposals that will, on balance, improve the economic, social and environmental conditions in the area can be supported".

- 7.3 "Previous Local Plans in Angus have established a strategy of guiding the majority of new development to the Angus towns, whilst enabling a range of rural development for local needs, tourism and leisure. Monitoring of these plans has shown that this strategy has been successful in supporting the development of our largest settlements, and it has also enabled employment, tourist and leisure facilities, together with a reasonable amount of new housing, to be developed in the rural area".
- 7.4 *"It is therefore appropriate to continue this development strategy: seeking to meet the growth and regeneration needs of the area and at the same time securing the creation of high quality places and the protection of the wider environment".*
- 7.5 *"The Strategy seeks to:*
 - guide the majority of development, including local housing and employment opportunities, to locations within the towns that have the capacity to accommodate new development well integrated with existing infrastructure, and which serve as locally accessible centres serving a diverse rural hinterland.
- 7.6 The application proposes development which complies with all these sentiments, for the following reasons.
 - It will enable the development of an unsightly vacant site in one of Carnoustie's most prestigious tourist locations,
 - It will locate new tourist development within an existing urban location and therefore obviate the need for settlement expansion,
 - It is inherently sustainable, as occupants would be only a short walk away from the town centre, the railway station, the golf courses, the Carnoustie Golf Hotel and Spa, and other tourist attractions in the town.

8 **Concluding statement**

8.1 The proposals represent an opportunity to redevelop an ugly vacant site in the heart of Carnoustie's main tourist district. It is a gap in the consistent line of buildings along the Carnoustie town frontage.



- 8.2 Planning permission was previously granted in 2015 for a development which contained the same accommodation as the present proposal.
- 8.3 On the basis of that permission the site was subsequently sold to the present applicant, who was dissatisfied with the approved flat-roof design and want a more traditional design approach which better reflected the design of surrounding buildings.
- 8.4 However the application he submitted in 2020 to seek approval of these changes was refused on flooding grounds.
- 8.5 The present application sought to resolve the flooding issue by ensuring that the lowest floor level was above SEPA's defined flood level, including allowance for climate change and 'freeboard' allowance.
- 8.6 Despite this, SEPA and the Council's Roads, Flooding and Drainage Team still object to the application. The consultants commissioned by the applicant point out that these objections first misunderstand SEPAs own Land Use Vulnerability categories. They ignore the fact that the proposals include emergency pedestrian access and egress to an elevated position, and that the final floor levels meet SEPA and Council guidance for design level plus Climate Change Allowance and an appropriate freeboard.
- 8.7 In his Report of Handling of the refused application, the Planning Officer confirmed that the proposals were an appropriate use for the site in terms of the Local Development Plan, and would create a good living environment.
- 8.8 He also confirmed that the proposals the are consistent with the mixed character and pattern of development in the surrounding area, and that the design is an improvement on the 2015 design approved in 2015.
- 8.9 Finally, he confirmed that the proposals would not result in any significant direct or indirect impacts on cultural heritage or the natural environment.
- 8.10 We submit to the Local Review Body that the proposals are an appropriate development on a prominent site within the town, and that the risk of flooding has been properly taken into account in its design.
- 8.11 We therefore respectfully urge the Local Review Body to approve the application.

John Paton

7th March 2023

ITEM 3



International House, Hamilton International Park, Stanley Boulevard, Hamilton, G72 oBN

www.terrenus.co.uk

John Murphy c/o gfivethree 209 Muirshiel Crescent Glasgow Lanarkshire G53 6XD

For the attention of John Murphy,

By e-mail only

Date: 28 February 2023

Dear John,

FLOOD RISK ASSESSMENT SUMMARY FOR ANGUS COUNCIL LOCAL REVIEW BODY

ERECTION OF EIGHT RESIDENTIAL FLATS (FOR SHORT AND LONG TERM LETTING) SITE OF FORMER LINKS HOTEL, 8 LINKS PARADE, CARNOUSTIE, DD7 7JF -22/00646/FULL

The following statement summarises the key findings of the Flood Risk Assessment undertaken for the above site under the Planning Application 22/00646/Full, with respect to the development of the site for residential flats for long and short-term letting.

At the time of reporting the Planning Application was assessed against Scottish Planning Policy, SEPA Guidance and Angus Council Guidance.

Flood Risk Assessment History

Terrenus Land & Water Ltd were commissioned in January 2021 to engage with the Council Planning process via the Council Flood Officer to arrive at a viable residential development for the site. The works included a factual review and interpretation of the Council provided Messrs JBA Flood Risk Assessment - Carnoustie Appraisal Report.

This commission lead to the issue of the following factual letter reports:

- Proposed development, Links Parade, Carnoustie review of JBA Flood Risk Assessment and outline development options Letter Report (30 April 2021)
- Proposed development, Links Parade, Carnoustie review of JBA Flood Risk Assessment and outline development options Letter Report Revision 1 (19 May 2021)

During the course of the Planning review SEPA were consulted and provided an e-mail response:

Planning Application Consultation 22/00646/FULL SEPA ref 7237 – e-mail (dated 10 November 2022)

Feedback and comments from Angus Council and SEPA were addressed in the following response:

 Erection of eight residential flats (for short and long-term letting) site of former links hotel, 8 Links Parade, Carnoustie, DD7 7JF - 22/00646/FULL – Consultation Response Letter (14 December 2022).



Terrenus Land & Water Ltd

Assessment Background

Data was requested and provided by Messrs JBA, via the Council to provide greater detail and analysis on the specific flood risks associated with the site. Separate hydraulic modelling was not undertaken for the fluvial flood risk associated with Barry Burn, but tidal flood risk and topography were re-assessed manually through cross checks.

Addressing Land Use Vulnerability

In their Consultation Response both SEPA and the Council raised concerns over the change in Land Use Vulnerability classification at the site. There is no change in Land Use Vulnerability as:

- It is a redevelopment of an existing Brownfiled site (former Hotel).
- A Hotel and short- or long-term letting residential flats fall under than same Land Use Vulnerability classification category as noted by SEPA.
- There is no significant increase in risk within the vulnerability classification as hotel residency numbers are not considered to be significantly different to letting tenancy numbers.
- Under the SEPA Flood Risk Background Paper (Section DM.27, Table on Development on previously developed sites) the site qualifies as a "like for like" Land Use Vulnerability Classification and is therefore compliant with the background paper and permissible.
- Under the SEPA Flood Risk Background Paper Section DM.29 Redevelopment of sites (criterion c) the proposed development is acceptable as:
 - o There is no increase in Land Use Vulnerability Classification.
 - o No increased flood risk to others.
 - o Suitable proposed mitigation as part of the proposed development.

The site is at risk from both Fluvial Flood Risk (Barry Burn) and Coastal Flood Risk (Tidal flooding), with the greatest risk coming from Tidal Flood Risk.

Fluvial Flooding

Fluvial Flood Risk from the Barry Burn during the 1 in 200-year design event impacts the site up to 3.44mOD, defining the peak water level of the Functional Flood Plain within the site.

Dry emergency pedestrian access and egress to an elevated position with transport links for evacuation is available along South Taymouth Street to the west and over the pedestrian railway footbridge.

This access egress is considered valid and appropriate for the site under Scottish Planning Policy.

Tidal Flooding

Updated peak flood water levels under the 1 in 200-year tidal scenario are established to be at 3.88mOD. This level cuts off dry emergency pedestrian access or egress to the site for a short interval. Given the cyclical nature of tidal flooding, the site would be impounded for a 4-hour period, before ebbing tide would reduce peak water levels to a point where access and egress along South Taymouth Street would be re-established.

The 1 in 200-year plus climate change allowance design peak water level is 4.64mOD. This was applied to the design in conjunction with flood resilient design measures and flood mitigation measures.

Flood Resilient Design & Risk Mitigation

The following flood mitigation measures were proposed to facilitate the development of the site:

- Final Floor Levels of 5.24mOD meeting SEPA and Council guidance for design level plus Climate Change Allowance and an appropriate freeboard (+0.6m).
- All persons and property kept outwith the tidal inundation zone.
- All development below 5.24mOD application of flood resilient design.
- Mandatory registration to the SEPA Flood line.
- Installation, Operation & Maintenance of an appropriate Flood Warning System to facilitate early warning and egress (Both Tidal & Fluvial).
- Operation and Maintenance of Flood Emergency Evacuation Plan.

In addition to the above, ten (10) additional Flood Resilient Design measures were proposed, all of which comply with UK Government Guidance for flood resilient construction.

Summary Conclusion

As detailed above, the feedback, queries and comments from SEPA and Angus Council have been addressed. The following summary confirms the items addressed.

As a gap site on the existing developed Carnoustie Bay sea front, the site occupies a prime location on Links Parade. The proposed development does not increase Land Use Vulnerability Classification and does not increase risk within the classification category. It is a like for like development with appropriate design and compliance with Government, Regulator and Local Council guidance.

There is a known fluvial flood risk to the site from the Barry Burn. A viable dry emergency pedestrian access to elevated ground with transport links is available.

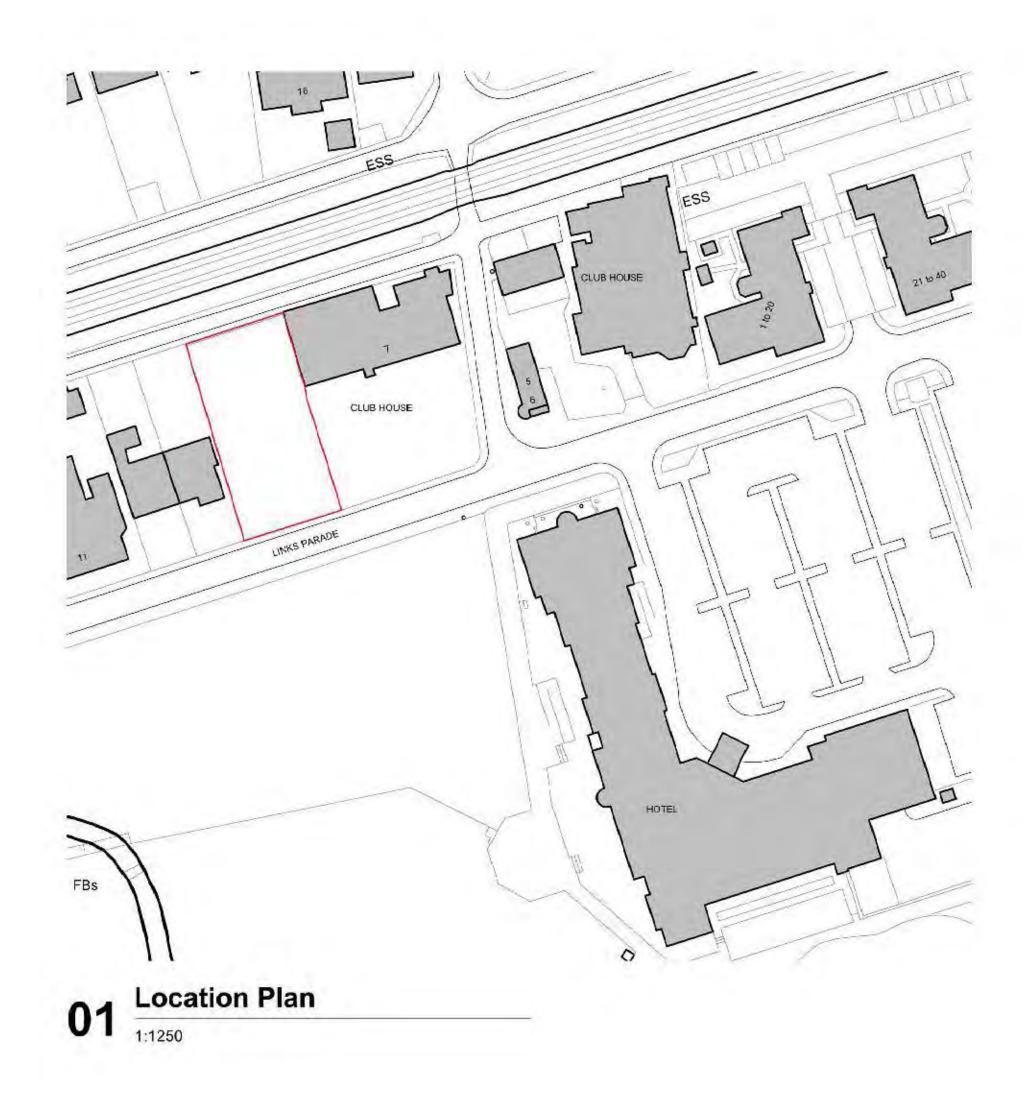
There is a short time limited 4-hour period when the site will be impounded by tidal flooding. Flood resilient design and flood mitigation measures will protect persons and property during this period. Overall, there is no increase in flood risk to others and potential betterment to local flood warning in the area.

On balance, it is considered that the proposed flood resilient design, flood warning system and other associated mitigation measures are appropriate, feasible and in broad accordance with Scottish Planning Policy.

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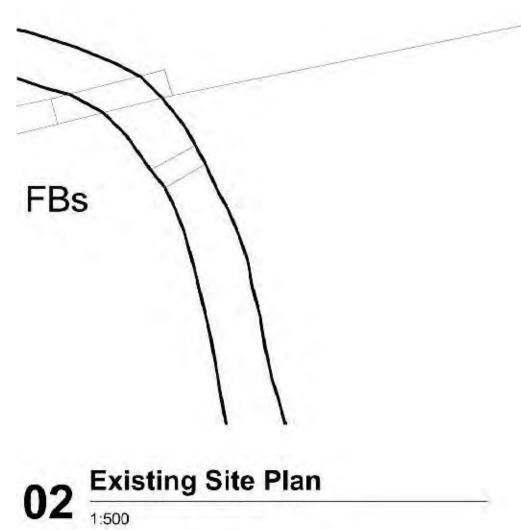
Yours sincerely,

Douglas Aitken Director Terrenus Land & Water Ltd



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drawing number CLP.AR(PL)00	revision 1 A	drawing title Existing Location / Site Plan 8 Links Parade	scale 1:1250 / 1:500 date 30.05.20
status Planning		Planning Consent	drawn RG format a1
1152 ²⁰	53 DESIGN LTD)9 MUIRSHIEL CRESCENT (ASGOW) 53 GXD		

ITEM 4